

## SECTION 29

### SPECIAL DISTRICT 1 (SP.1)

#### PERMITTED USES

29.1 No person shall within an SP.1 District use any land or erect, alter or use any building or part thereof for any purpose other than:

- (a) an apartment dwelling

#### REGULATIONS

29.2 No person shall within an SP.1 District use any land or erect, alter or use any building or part thereof except in accordance with the following regulations:

Type	Requirement
a) maximum number of storeys	8
b) minimum lot area per dwelling unit	102 square metres
c) maximum building coverage	15%
d) minimum building setback - side lot line or rear lot line	12 metres or the height of the building, whichever is the greater
e) minimum separation of building	15 metres or the average height of the buildings whichever is the greater
f) landscaped open space of a minimum width of 3 metres shall be provided and maintained along the north limit of Registered Plan No. 64Q	
g) minimum floor area: i) bachelor dwelling unit ii) dwelling unit other than bachelor dwelling unit	46 square metres 60 square metres
h) no external fire escapes or laundry drying facilities shall be permitted	
j) notwithstanding the provisions of Section 4.2(A), motor vehicle parking spaces shall be provided and maintained to the extent of 1 space per dwelling unit plus 1 additional space per 5 dwelling units, and such spaces shall not be located within the minimum 3 metres of any lot line	
k) motor vehicle access from Monaghan Road shall be limited to one driveway not exceeding 9 metres in width	
l) notwithstanding anything contained in this by-law, the lot appropriated for the exclusive use of one apartment dwelling need not front on a street if a permanent private right-of-way of at least 15 metres in width is provided for the use of the occupants of the apartment dwelling from such lot to a street	
29.3 SP.1 District is hereby designated as a residential district.	

## SECTION 30

### SPECIAL DISTRICT 2 (SP.2)

#### PERMITTED USES

30.1 No person shall within an SP.2 District use any land or erect, alter or use any building or part thereof for any purpose other than;

- (a) an apartment dwelling

#### REGULATIONS

30.2 No person shall within an SP.2 District use any land or erect, alter or use any building or part thereof except in accordance with the following regulations;

Type	Requirement
a) maximum number of storeys	8
b) minimum lot area per dwelling unit	110 square metres
c) maximum building coverage	15%
d) minimum building setback i) side or rear lot line ii) street line	12 metres or the height of the building, whichever is the greater 9 metres
e) minimum floor area: i) bachelor dwelling unit ii) dwelling unit other than a bachelor dwelling unit	50 square metres 60 square metres
f) no external fire escapes or external laundry drying facilities shall be permitted	
g) notwithstanding the provisions of Section 4.2(A), motor vehicle parking spaces shall be provided and maintained to the extent of 1.2 spaces per dwelling unit and such spaces shall not be located within a minimum building setback - street line or within 3 metres of a lot line	
30.3 SP.2 District is hereby designated as a residential district.	

## SECTION 31

### SPECIAL DISTRICT 3 (SP.3)

#### PERMITTED USES

31.1 No person shall within an SP.3 District use any land or erect, alter or use any building or part thereof for any purpose other than;

- (a) a single unit dwelling

#### REGULATIONS

31.2 No person shall within an SP.3 District use any land or erect, alter or use any building or part thereof except in accordance with the following regulations;

Type	Requirement
a) minimum lot area	557 square metres
b) minimum lot width	18 metres
c) notwithstanding the provisions of Section 6.7, the minimum building setback on an arterial street line	9 metres
d) minimum street line building setback other than (c)	6 metres
e) minimum building setback i) side lot line  ii) rear lot line	1.2 metres except for accessory buildings located in a rear lot line building setback, and more than 2.4 metres from the nearest dwelling 7.6 metres
f) minimum floor area	126 square metres
g) maximum height: i) main building ii) accessory building	2 storeys 1 storey
h) notwithstanding the provisions of Section 4.2(A), 1 motor vehicle parking space shall be provided and maintained within the district	
31.3 SP.3 District is hereby designated as a residential district.	

## SECTION 32

### SPECIAL DISTRICT 4 (SP.4)

32.1 For the purpose of this by-law, land use district "Special District 4" is hereby established and may be referred to by the symbol "SP.4".

#### PERMITTED USES

32.2 No person shall within an SP.4 District use any land or erect, alter or use any building or part thereof for any purpose other than;

- (a) a bank
- (b) Office (By-law 23-061)
- (c) Clinic, excluding a veterinary clinic (By-law 23-061)

#### REGULATIONS

32.3 No person shall within an SP.4 District use any land or erect, alter or use any building or part thereof except in accordance with the following regulations:

Type	Requirement
a) minimum lot area	1,000 square metres
b) minimum lot width	32 metres
c) minimum building setback <ul style="list-style-type: none"><li>i) side lot line</li><li>ii) rear lot line</li></ul>	3.5 metres 8 metres
d) maximum number of storeys	1
e) maximum building area	310 square metres
f) minimum landscaped open space of 1 metre in width shall be provided and maintained along all lot lines provided that such open space may be interrupted by driveways	
g) minimum landscaped open space	15% of the area of the lot
h) fencing shall be provided and maintained along the south and west lot lines	
i) Minimum width of a drive aisle serving parking spaces oriented perpendicular (90 degrees) to the aisle (By-law 23-061)	5.4 metres
32.4 SP.4 District is hereby designated as a commercial district.	

## SECTION 33

### SPECIAL DISTRICT 5 (SP.5)

#### PERMITTED USES

33.1 No person shall within an SP.5 District use any land or erect, alter or use any building or part thereof for any purpose other than;

- (a) an apartment dwelling

#### REGULATIONS

33.2 No persons shall within an SP.5 District use any land or erect, alter or use any building or part thereof except in accordance with the following regulations;

Type	Requirement
a) maximum number of dwelling units	12
b) the building shall be erected wholly within the area designated "Building Area – A" on the plan attached hereto as Schedule "A" to this section	
c) landscaped open space shall be provided and maintained in the areas designated "Landscaped Open Space – B" on the said plan	
d) six motor vehicle parking spaces shall be provided and maintained within the area designated "Driveway – D" on the said plan	
e) ten motor vehicle parking spaces shall be located only within the area designated "Parking – C" on the said plan	
f) driveway access to the parking spaces shall be located only within the area designated "Driveway – D" on the said plan	
g) a planting strip shall be provided and maintained along the entire length of the easterly side lot line	
33.3 SP.5 District is hereby designated as a residential district.	

FOR  
CLERK

GOODFELLOW ROAR

CLONSILLA AVENUE  
N 440 433  
183

N 44° 43' 30" E  
183.70

N17° 24' 30" W

70

B

162.69  
N 70° 32' 30" E

347:29  
N17838130110

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1



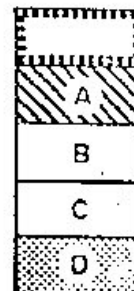
AREA OF PROPOSAL      SEPT / 74

BUILDING AREA - A

LANDSCAPED OPEN SPACE - B

PARKING AREAS - C

DRIVEWAY - D



## SECTION 34

### SPECIAL DISTRICT 6 (SP.6)

34.1 For the purpose of this by-law, land use district "Special District 6" is hereby established and may be referred to by the symbol "SP.6".

#### PERMITTED USES

34.2 No person shall within an SP.6 District, use any land or erect, alter or use any building or part thereof for any purpose other than:

- (a) an apartment dwelling

#### REGULATIONS

34.3 No person shall within an SP.6 District use any land or erect, alter or use any building or part thereof except in accordance with the following regulations:

Type	Requirement
a) minimum lot area	1,850 square metres
b) minimum lot area per dwelling unit	92 square metres
c) minimum lot width	30 metres
d) minimum lot depth	30 metres
e) minimum building set back i) side lot line ii) rear lot line	3 metres or one half the height of the building, whichever is the greater 10 metres or the height of the building, whichever is the greater
f) maximum building coverage	30% of the area of the lot
g) maximum number of storeys	3
h) maximum lot coverage by open parking areas, driveways and vehicle movement areas	30%
j) minimum landscaped open space	20% of the area of the lot
k) notwithstanding the provisions of Section 4, not more than 4 motor vehicles shall be placed within 3 metres of a street line	
l) notwithstanding Section 4.3.2, a motor vehicle parking space or driveway shall not be located within 1.5 metres of a window to a habitable room only along one side of an apartment dwelling	
m) notwithstanding the provisions of Section 4.2, the minimum parking space requirement is one space per dwelling unit plus 6 additional parking spaces	
34.4 SP.6 District is hereby designated as a residential district.	

**SPECIAL DISTRICT 7 (SP.7)****PERMITTED USES**

35.1 No person shall within an SP.7 District use any land or erect, alter or use any building or part thereof for any purpose other than:

- a) a clinic

**REGULATIONS**

35.2 No persons shall within an SP.7 District use any land or erect, alter or use any building or part thereof except in accordance with the following regulations:

Type	Requirement
a) minimum lot width	30 metres
b) minimum lot depth	45 metres
c) minimum building setback - side lot line or rear lot line	the lesser of the existing setback or 10 metres
d) maximum building coverage	23%
e) maximum building height	2 storeys
f) minimum landscaped open space	15% of the area of the lot
g) landscaped open space shall be provided and maintained in accordance with the following:	the lesser of the existing landscaped open space or 1.5 metres along all lot lines provided such open space may be interrupted by driveways
h) planting strips and/or privacy fencing shall be required to be constructed and maintained within the landscaped open space along a lot line abutting a residential district	
i) an accessory building, waste receptacle or garbage storage area may be erected or located within the district, excepting within the minimum required landscaped open space area, provided the following regulations are complied with: i) minimum building setback ii) maximum building height iii) maximum building or site area	3 metres 3 metres 15 square metres
35.3SP.7	District is hereby designated as a commercial district"



## SECTION 36

### SPECIAL DISTRICT 8 (SP.8)

#### PERMITTED USES

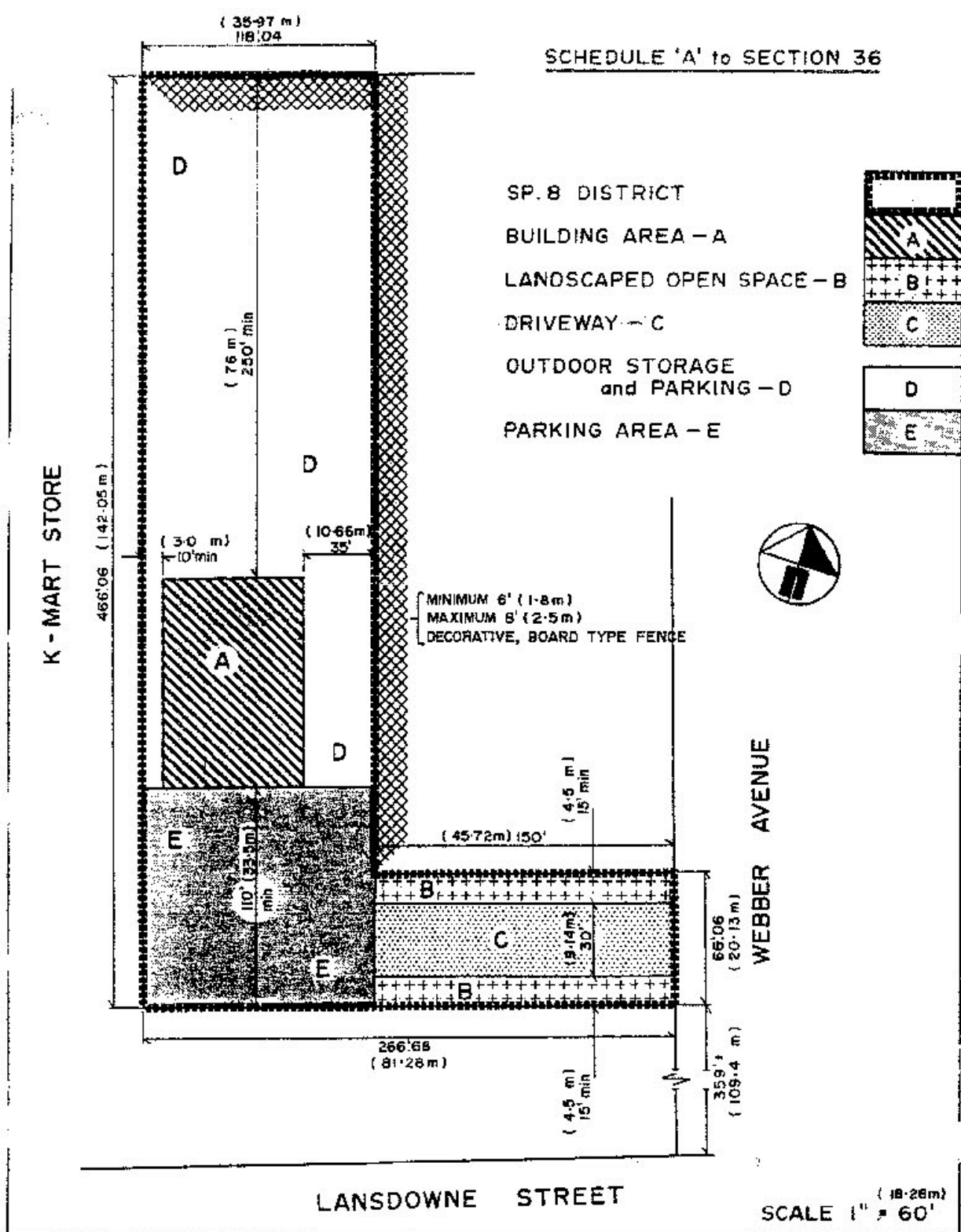
36.1 No person shall within an SP.8 District, use any land or erect, alter or use any building or part thereof for any purpose other than:

- (a) the sale of new and used motor vehicles and trailers,
- (b) the storage of motor vehicles and trailers,
- (c) the repair of motor vehicles and trailers if carried on entirely within a completely enclosed building.

#### REGULATIONS

36.2 No person shall within an SP.8 District use any land or erect, alter or use any building or part thereof except in accordance with the following regulations:

Type	Requirement
a) the building shall be erected wholly within the area designated "Building Area – A" on the plan attached hereto as Schedule "A" to this section	
b) maximum building height	6 metres
c) no alteration or addition shall be made to the existing building unless and until a decorative closed board fence has been erected along the north and east limits of the District such fence to be not less than 1.8 metres and not more than 2.4 metres in height	
d) landscaped open space shall be provided and maintained within the areas designated "Landscaped Open Space – B" on the said plan	
e) outdoor storage and display area for motor vehicles and trailers shall be permitted only within the area designated "Outdoor Storage and Parking – D" on the said plan	
f) notwithstanding the provisions of Section 4.2, motor vehicle parking spaces shall be provided and maintained to the extent of 1 per 93 square metres of building floor area, such spaces to be located only within the area designated "Parking Area – E" on the said plan	
g) driveway access to the said parking spaces shall be located only within the areas designated "Driveway – C" on the said plan	
36.3 SP.8 District is hereby designated as an industrial district.	



## SECTION 37

### SPECIAL DISTRICT 9 (SP.9)

#### PERMITTED USES

37.1 No person shall within an SP.9 District, use any land or erect, alter or use any building or part thereof for any purpose other than;

- (a) a nursing home

#### REGULATIONS

37.2 No person shall within an SP.9 District use any land or erect, alter or use any building or part thereof except in accordance with the following regulations:

Type	Requirement
a) maximum number of nursing care beds	142
b) maximum number of storeys	3
c) the building shall be erected wholly within the area designated "Building Area – A" on the plan attached hereto as Schedule "A" to this section	
d) the required motor vehicle parking spaces shall be located wholly within the areas designated "Parking and Driveway – B" on the said plan	
e) landscaped open space shall be provided and maintained within the areas designated "Landscaped Open Space – C" on the said plan	
f) a 1.2 metre chain-link fence shall be erected and maintained along the east, south and west limits of the District.	
g) any driveway shall have a minimum width of 6 metres	
37.3 SP.9 District is hereby designated as a commercial district.	



A diagram of a three-layered structure. The top layer is white and contains a small black rectangle. The middle layer is hatched and contains a white circle with the letter 'A'. The bottom layer is white and contains a black circle with the letter 'B'.

**A**  
**B**

3

**Abstract**



SCALE 1" = 80' (24.38 m)

## SECTION 38

### SPECIAL DISTRICT 10 (SP.10)

#### PERMITTED USES

38.1 No person shall within an SP.10 District, use any land or erect, alter or use any building or part thereof for any purpose other than:

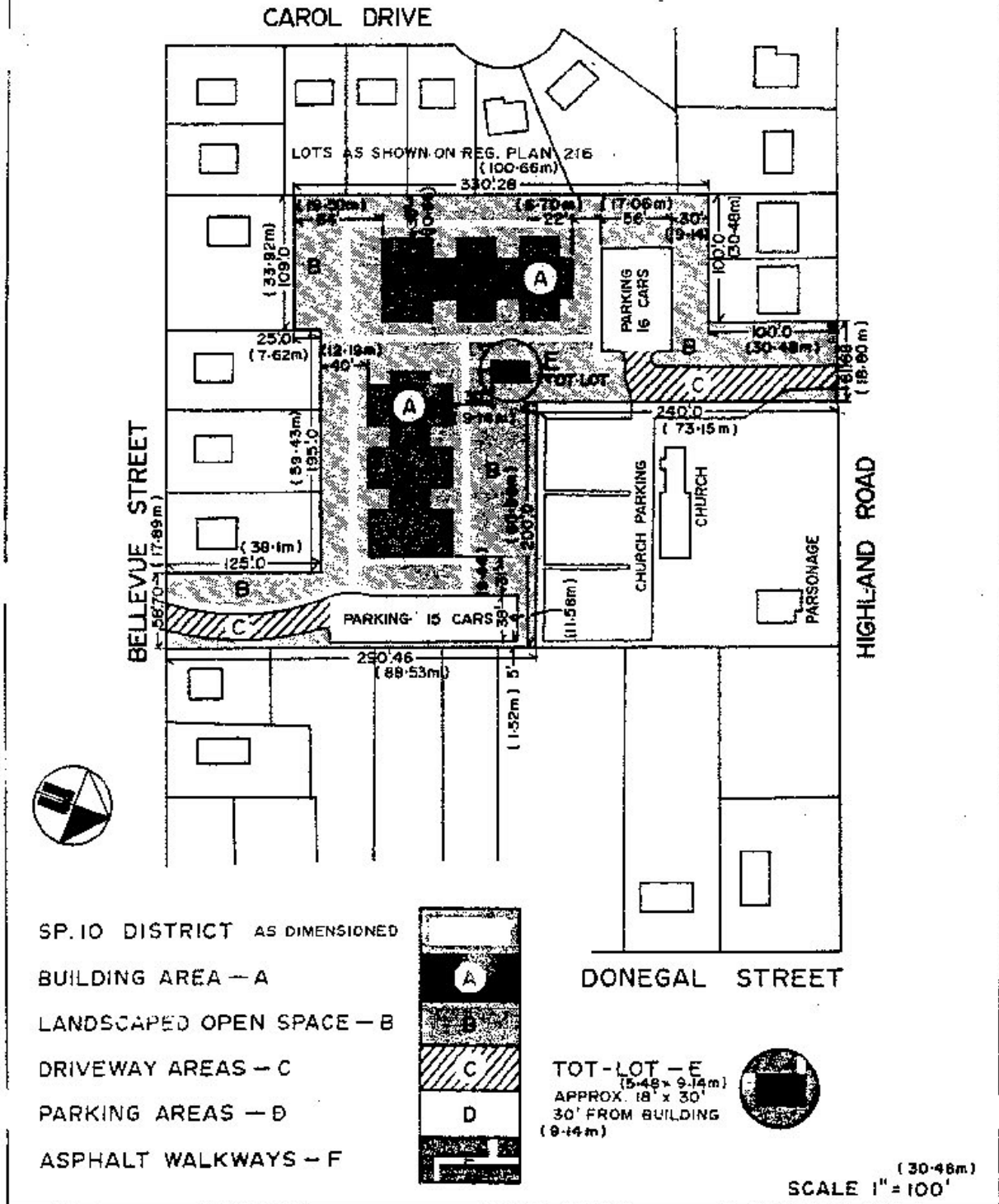
- (a) a group dwelling

#### REGULATIONS

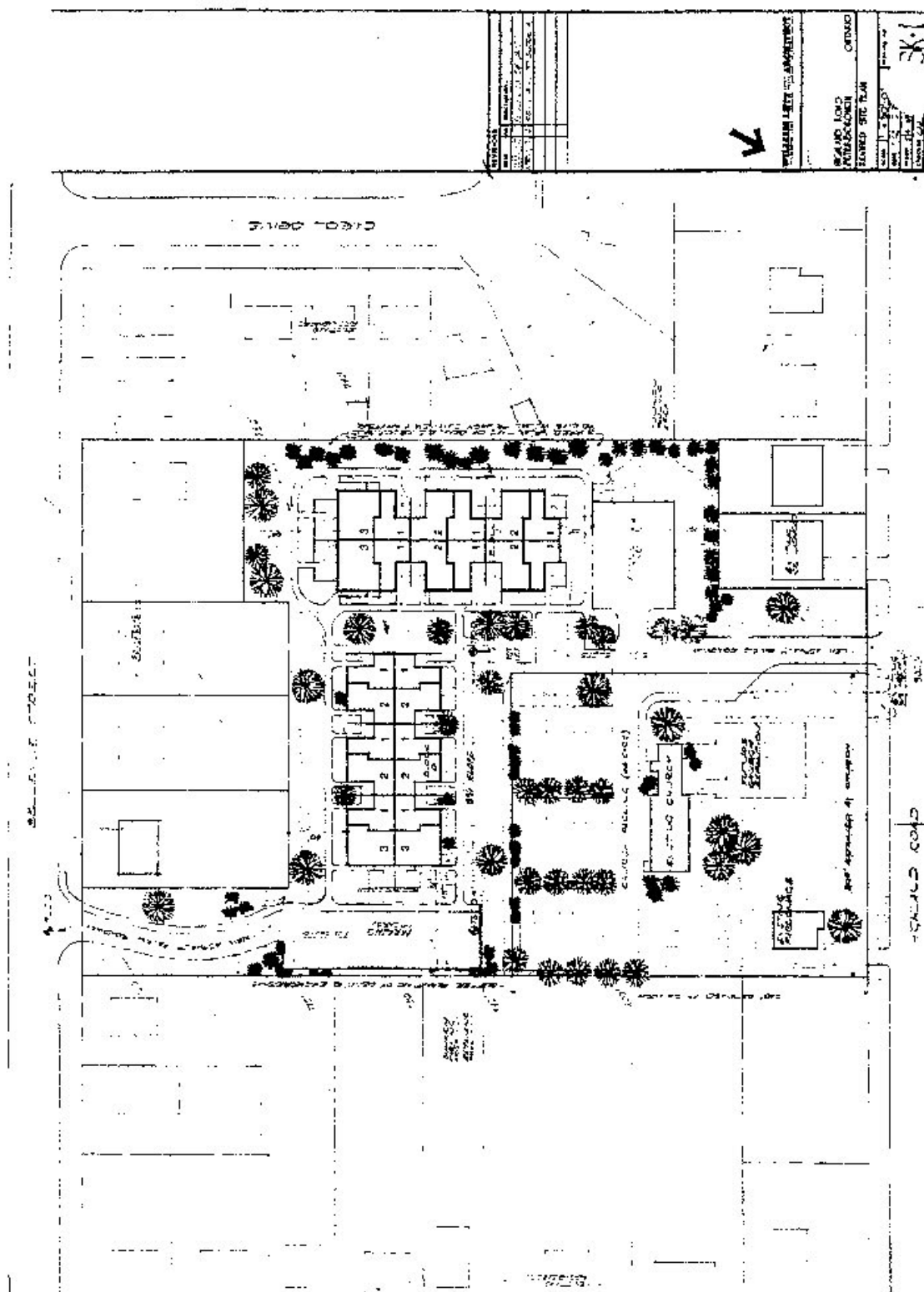
38.2 No person shall within an SP.10 District use any land or erect, alter or use any building or part thereof except in accordance with the following regulations:

Type	Requirement
a) any such building shall be erected wholly within one of the areas designated "Building Area – A" on the plan attached hereto as Schedule "A" to this section	
b) landscaped open space shall be provided and maintained within the areas designated "Landscaped Open Space – B" on the said plan	
c) the required motor vehicle parking spaces shall be located wholly within the areas designated "Parking Area – D" on the said plan	
d) driveway access to the said parking spaces shall be located wholly within the areas designated "Driveway Areas – C" on the said plan	
e) a tot-lot play area shall be provided and maintained within the area designated "Tot-Lot – E" on the said plan	
f) asphalt walkways shall be provided and maintained within the areas designated "Asphalt Walkways – F" on the said plan	
g) maximum number of dwelling units in each group dwelling	12
h) maximum number of storeys	1
j) maximum building coverage	15%
k) maximum driveway coverage	6%
l) in all other respects the lands shall be developed and maintained and the group dwellings erected in accordance with the architectural plans attached hereto as Schedule "B" to this section	
38.3 SP.10 District is hereby designated as a residential district.	

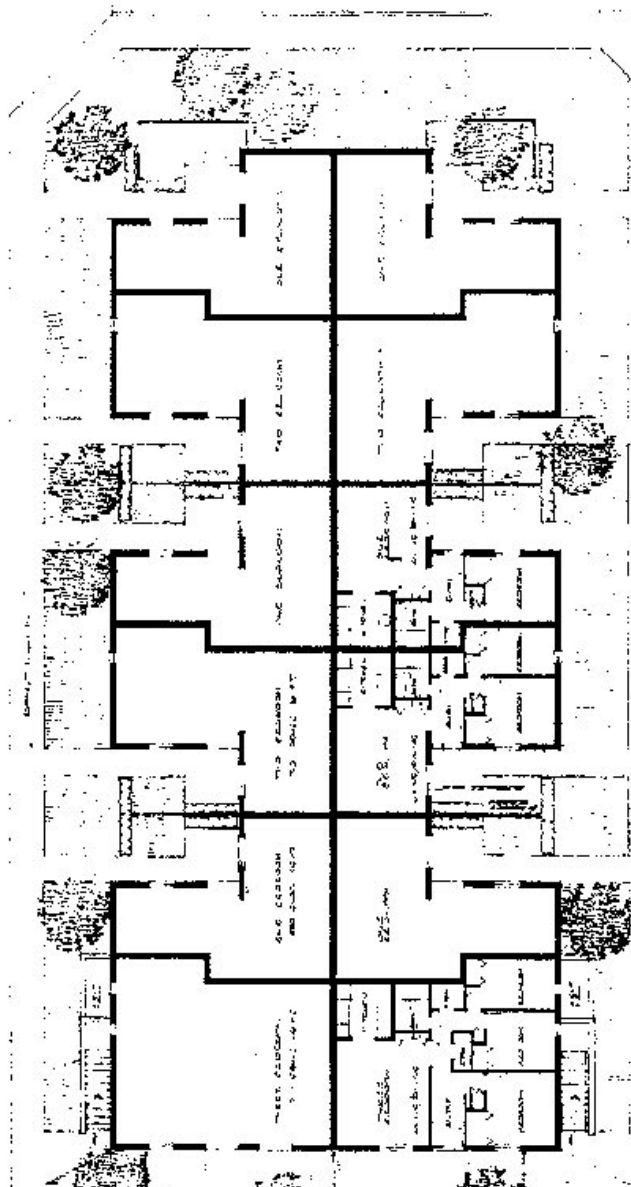
SCHEDULE 'A' to SECTION 38

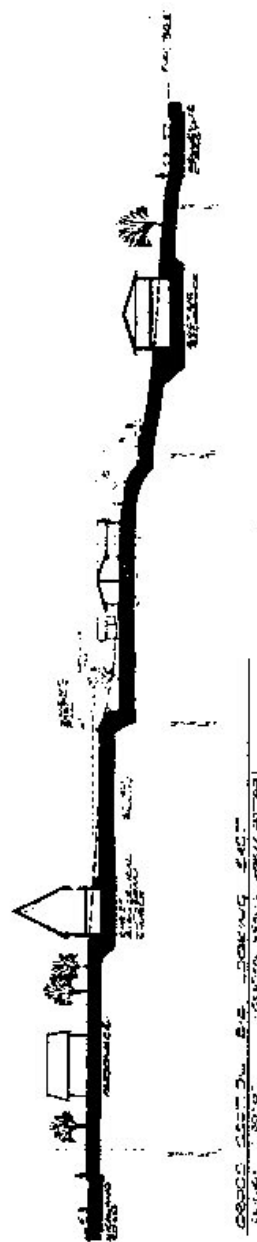
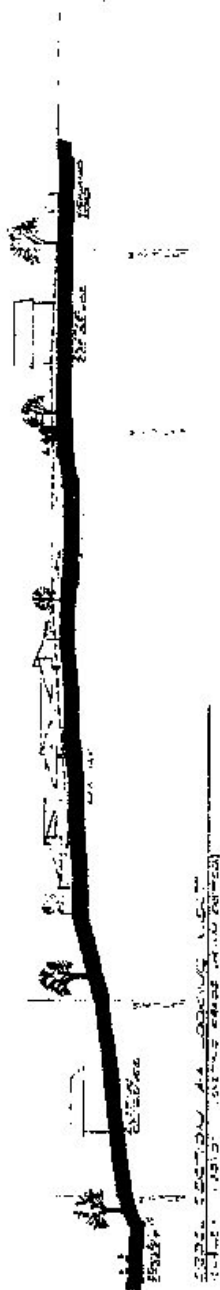










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## SECTION 39

### SPECIAL DISTRICT 11 (SP.11)

#### PERMITTED USE

39.1 No person shall within an SP.11 District, use any land or erect, alter or use any building or part thereof for any purpose other than:

- (a) an apartment dwelling

#### REGULATIONS

39.2 No person shall within an SP.11 District use any land or erect, alter or use any building or part thereof except in accordance with the following regulations:

Type	Requirement
a) maximum number of dwelling units	32
b) maximum number of storeys	3
c) maximum building coverage	25%
d) minimum landscaped open space	50% of the area of the lot
e) notwithstanding the provision of Section 4.8 the required motor vehicle parking spaces shall not be located: i) within 3 metres of an adjoining residential lot ii) within 6 metres of the front lot line or a dwelling or, iii) within 1.5 metres of any other lot line	
f) notwithstanding the provisions of Section 4.8, a driveway shall not be located within 1.5 metres of a lot line or within 6 metres of the main wall of a dwelling	
g) minimum building setback - side lot line or rear lot line	6 metres or one half the height of the building, whichever is the greater
39.3 SP.11 District is hereby designated as a residential district.	

## SECTION 40

### SPECIAL DISTRICT 12 (SP.12)

#### PERMITTED USES

40.1 No person shall within an SP.12 District, use any land or erect, alter or use any building or part thereof for any purpose other than:

- (a) an apartment building

#### REGULATIONS

40.2 No person shall within an SP.12 District use any land or erect, alter or use any building or part thereof except in accordance with the following regulations:

Type	Requirement
a) any such building shall be erected wholly within the area designated as "Building" on the plan attached hereto as Schedule "A" to this Section	
b) maximum building height	10 storeys
c) maximum number of dwelling units	100
d) driveway access, open parking and vehicle movement areas shall be located within the area designated as "Parking and Driveway" on the plan attached hereto as Schedule "A" to this Section	
e) landscaped open space areas shall be located within the area designated as "Landscaped Open Space" on the plan attached hereto as Schedule "A" to this Section	
e) notwithstanding the provisions of Section 4.2(A), motor vehicle parking spaces shall be provided and maintained at a rate of 1 space per 4 dwelling units, within the district, provided the dwelling is occupied exclusively by elderly persons or persons with disabilities	
40.3	SP.12 District is hereby designated as a residential district

# SCHEDULE 'A' TO SECTION 40

SP.12 DISTRICT

BUILDING - A

PARKING AREA - P

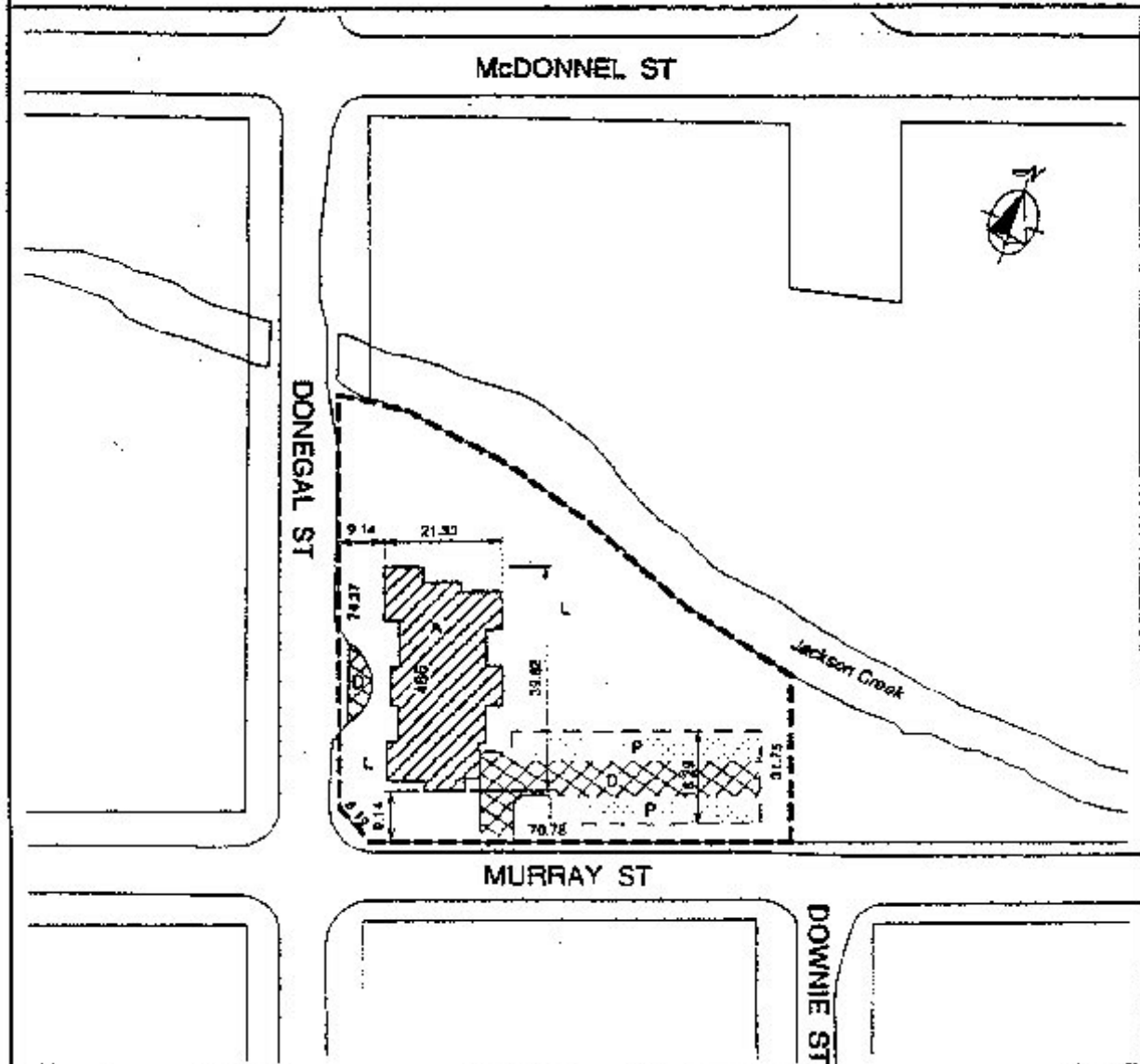


DRIVEWAYS - D

LANDSCAPED OPEN SPACE - L



Dimensions are in metric



## SECTION 41

### SPECIAL DISTRICT 13 (SP.13)

41.1 For the purpose of this by-law, land use district "Special District 13" is hereby established and may be referred to by the symbol "SP.13".

#### DEFINITIONS

41.2 For the purposes of this section:

- (a) "DAY NURSERY" means a day nursery as defined pursuant to The Day Nurseries Act, R.S.O. 1980, C.111.
- (b) "NURSERY SCHOOL" means a school where children up to six years of age are instructed or provided with guidance for a continuous period not exceeding twenty hours per day.

#### PERMITTED USES (amended by By-law 11-095)

41.3 No person within an SP.13 District shall use any land or erect, alter or use any building or part thereof for any purpose other than:

- (a) a use permitted under Section 18.1 (C.6 – Commercial District)
- (b) a multi-suite residence

#### REGULATIONS (amended by By-law 11-095)

41.4 No person shall within an SP.13 District use any land or erect, alter or use any building of part thereof except in accordance with the following regulations:

Type	Requirement
a) maximum building coverage	95%
b) maximum building floor area ratio	6
c) deleted by By-law 17-062	
d) notwithstanding the provisions of Section 4.2(A), a minimum of 0.25 parking spaces shall be provided per suite for a residential suite in a multi-suite residence	
e) notwithstanding the provisions of Section 4.2(B), no motor vehicle parking spaces need be provided for non-residential uses	
f) notwithstanding the provisions of Section 6.26, a building or part thereof may be erected in the area of a block enclosed by lines drawn parallel to and 30 metres from the street lines forming the perimeter of the block.	

41.5 SP.13 District is hereby designated as a commercial district.

## SECTION 43

### SPECIAL DISTRICT 15 (SP.15)

43.1 For the purpose of this by-law, land use district "Special District 15" is hereby established and may be referred to as the symbol "SP.15".

#### PERMITTED USES:

43.2 No person shall within an SP.15 district use any land or erect, alter or use any building or part thereof for any purpose other than:

- a) a clinic
- b) a restaurant
- c) a food store
- d) a personal service use
- e) a video rental establishment
- f) a bake shop
- g) a place of assembly
- h) an art school, music school or dance school
- j) a gymnasium or health club
- k) a studio or craft workshop
- l) a place of entertainment
- m) a funeral parlour
- n) a church
- o) a day nursery
- p) a library, museum or art gallery
- q) a printing shop or publishing house
- r) a rental establishment
- s) a retail establishment for the sale of:
  - i) building products and contractor supplies
  - ii) motor vehicles and motor vehicle parts
  - iii) furniture and appliances
- t) an establishment for the wholesale or retail sale of electrical and electronic products and supplies
- u) a nursery or greenhouse
- v) a bottling establishment
- w) a retail establishment for the sale of wine and liquor

#### REGULATIONS:

43.3 No person shall within an SP.15 district use any land or erect, alter or use any building or part thereof except in accordance with the following regulations:

Type	Requirement
a) minimum lot width	30 metres
b) minimum lot depth	45 metres
c) maximum building coverage	40%
d) maximum floor area per commercial purpose for uses (a) to (f) inclusive	235 square metres
e) maximum building height	2 storeys
f) minimum width of landscaped open space shall be provided and along lot lines in accordance with the following: <ul style="list-style-type: none"> <li>i) north</li> <li>ii) east</li> </ul>	6 metres 1.5 metres
g) up to 10% of the area between a building and a street line may be used for the open display of merchandise associated with uses (r),(s) and (u)	
h) an accessory building, waste receptacle or garbage storage area may be erected or located within the district, excepting within the minimum required landscaped open space area,	

<p>provided the following regulations are complied with:</p> <p>i) minimum building setback</p> <p>ii) maximum height</p> <p>iii) maximum building area</p>	<p>3 metres</p> <p>3 metres</p> <p>28 square metres</p>
43.4	SP.15 District is hereby designated as a commercial district.



## SECTION 44

### SPECIAL DISTRICT (SP.16)

#### PERMITTED USES

44.1 No person shall within an SP.16 district use any land or erect, alter or use any building or part thereof for any purpose other than:

- a) not more than 3 aerial towers for community cable television

#### REGULATIONS

44.2 No person shall within an SP.16 District use any land or erect, alter or use any building or part thereof except in accordance with the following regulations:

Type	Requirement
a) minimum building setback - side lot line or rear lot line	9 metres
b) landscaped open space of a minimum width of 6 metres shall be provided and maintained along each lot line, provided such open space may be interrupted by driveways	
c) an accessory building waste receptacle or garbage area may be erected or located within the district, provided the following regulations are complied with: i) minimum building setback ii) maximum height iii) maximum building area	9 metres 6 metres 50 square metres
44.3	SP.16 District is hereby designated as a public service district.

**SPECIAL DISTRICT 17 (SP.17)**

45.1 For the purpose of this by-law, land use district "Special District 17 " is hereby established and may be referred to as the symbol SP.17.

**PERMITTED USES**

45.2 No person shall within an SP.17 district use any land or erect, alter or use any building or part thereof for any purpose other than:

- a) Retail establishment for the sale of furniture and appliances

**REGULATIONS**

45.3 No person shall within an SP.17 district use any land or erect, alter or use any building or part thereof except in accordance with the following regulations:

a) maximum retail floor area	375 square metres
b) maximum building height	2 storeys
c) minimum building setback: i) southeast side lot line ii) south side of public laneway iii) centre line of Lansdowne Street West	3.6 metres the existing or 3.6 metres, which ever is the greater 13 metres
d) no building, accessory building, waste receptacle or garbage enclosure may be erected or located at 184 Park Street South.	
e) notwithstanding the provisions of Section 4.2 (B), a minimum of 9 motor vehicle parking spaces shall be provided and maintained within the district.	
f) landscaped open space shall be provided and maintained in accordance with the following: i) southeast side lot line, southerly 20 metres ii) southeast side lot line, northerly 4.3 metres iii) northeast side lot line	3.6 metres 0 metres 1.5 metres

45.4 SP.17 is hereby designated as a commercial district.

## SECTION 46

### SPECIAL DISTRICT 18 (SP.18)

46.1 For the purpose of this by-law, land use district "Special District 18" is hereby established and may be referred to as the symbol "SP. 18".

#### PERMITTED USES

46.2 No person shall within an SP.18 district use any land or erect, alter or use any building or part thereof for any purpose other than:

- a) a dwelling unit;
- b) an art school, music school, dance school or fine arts school.

#### REGULATIONS

46.3 No person shall within an SP.18 district use any land or erect, alter or use any building or part thereof except in accordance with the following regulations:

a) maximum building height	2 storeys
b) minimum building setback:	
i) street line	the lesser of the existing setback or 6 metres
ii) side lot line	the lesser of the existing or 8 metres
iii) south rear lot line	6 metres
iv) all other lot lines	12 metres
c) minimum width of landscaped open space shall be provided and maintained in accordance with the following:	
i) east side lot line	the lesser of the existing or 1.5 metres
ii) all rear lot lines	1.5 metres
d) minimum lot area per dwelling unit	370 square metres
46.4 SP.18 is hereby designated as a commercial district.	

**SECTION 47****SPECIAL DISTRICT 19 (SP.19)****PERMITTED USES**

47.1 No person shall within an SP.19 District use any land or erect, alter or use any building or part thereof for any purpose other than:

- (a) a publishing or printing establishment;
- (b) a communication or broadcasting establishment;
- (c) an architectural, engineering or technical services establishment; and
- (d) contained assembly and manufacturing located in the lower level of the building occupying a floor area not to exceed 1,000 sq m.

**REGULATIONS**

47.2 No person shall within an SP.19 District use any land or erect, alter or use any building or part thereof except in accordance with the following regulations:

Type	Requirement
a) maximum building height	7.6 metres
b) minimum building setback - side lot line or rear lot line	6 metres
c) landscaped open space of a minimum width of 6 metres shall be provided and maintained along each lot line	
d) planting strips shall be provided and maintained along a lot line abutting a residential district	
e) Notwithstanding the provisions of Section 4.10, the required motor vehicle parking spaces may be located within 130 metres of the lot	
f) Notwithstanding the provisions of Section 4.6, no loading space shall be required.	
47.3	SP.19 District is hereby designated as an industrial district.

## SECTION 48

### SPECIAL DISTRICT 20 (SP.20)

#### PERMITTED USES

48.1 No person shall within an SP.20 District use any land or erect, alter or use any building or part thereof for any purpose other than:

- (a) a row dwelling
- (b) a quadruplex dwelling

#### REGULATIONS

48.2 No person shall within an SP.20 District use any land or erect, alter or use any building or part thereof except in accordance with the following regulations:

Type	Requirement
a) maximum number of dwelling units	22
b) any such row dwellings shall be erected wholly within one of the areas designated "Building Area – A" on the plan attached hereto as Schedule "A" to this section. Maximum number of dwelling units per row dwelling shall be in accordance with the number noted thereon	
c) any such quadruplex dwelling shall be erected wholly within one of the areas designated "Building Area – B" on the said plan	
d) maximum building height	7.6 metres or 2 storeys whichever is the lesser
e) minimum floor area per dwelling unit	84 square metres
f) the required motor vehicle parking spaces shall be located wholly within the areas designated "Parking Area – C" on the said plan	
g) driveway access to the parking spaces shall have a width of 6 metres and be located wholly within the areas designated "Driveway – D" on the said plan	
h) landscaped open space shall be provided and maintained within the areas not otherwise designated on the said plan	
48.3	SP.20 District is hereby designated as a residential district.

## HIGH STREET



BUILDING AREA - A  
BUILDING AREA - B

## DRIVEWAYS - D

LANDSCAPED OPEN SPACE - E



SCALE 1" = 100' (30.48m)

## SECTION 49

### SPECIAL DISTRICT 21 (SP.21)

49.1 For the purpose of this by-law, land use district "Special District 21" is hereby established and may be referred to as the symbol "SP.21".

#### PERMITTED USES

49.2 No person shall within an SP.21 District use any land or erect, alter or use any building of part thereof for any purpose other than:

- (a) a hotel
- (b) an apartment dwelling

#### REGULATIONS

49.3 No person shall within an SP.21 District use any land or erect, alter or use any building or part thereof except in accordance with the following regulations:

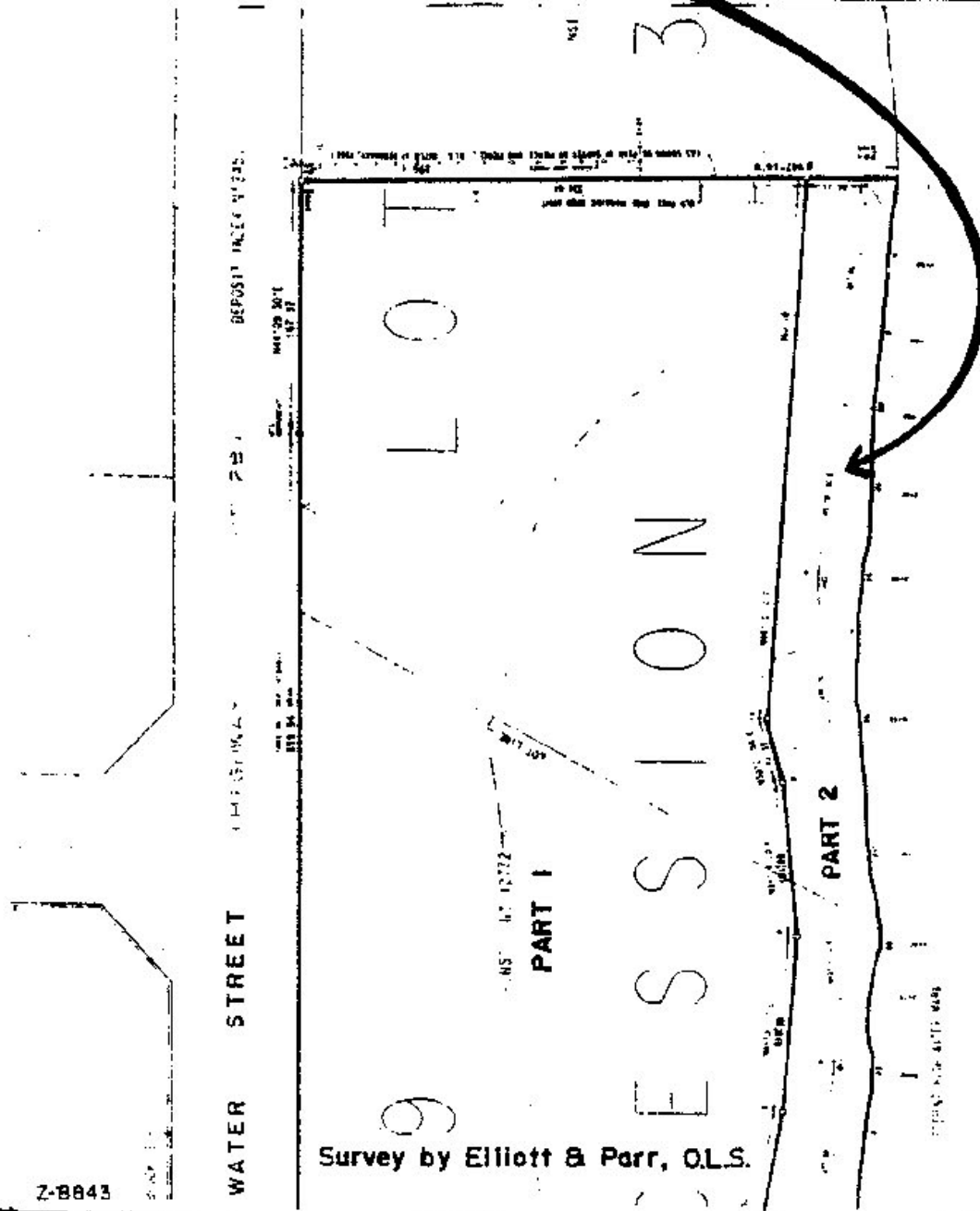
Type	Requirement
a) the following regulations shall apply to the purpose in Clause (a) of Section 49.2: <ul style="list-style-type: none"><li>i) maximum building coverage</li><li>ii) maximum building height</li><li>iii) minimum building setback - side lot line or rear lot line</li><li>iv) landscaped open space of a minimum width of 6.1 metres shall be provided and maintained along each lot line</li></ul>	<ul style="list-style-type: none"><li>20%</li><li>6.1 metres</li><li>12 metres</li></ul>
b) the following regulations shall apply to the purpose in Clause (b) of Section 49.2: <ul style="list-style-type: none"><li>i) minimum lot area</li><li>ii) minimum lot area per dwelling unit</li><li>iii) maximum number of units within the district</li><li>iv) minimum lot width</li><li>v) minimum building setback - side lot line</li><li>vi) maximum building coverage</li><li>vii) maximum lot coverage by open parking areas, driveways and vehicle movement areas</li><li>viii) maximum building height</li><li>ix) notwithstanding the provisions of Section 4, motor vehicle parking shall be permitted within 1.5 metres of a street line</li><li>x) notwithstanding the provisions of Section 49.3 (b), all buildings shall be located at an average distance of not less than 6.1 metres from the public right-of-way as shown as "Open Space - Public Walkway" on the plan attached hereto as Schedule "X" to Section 49</li></ul>	<ul style="list-style-type: none"><li>3,000 square metres</li><li>475 square metres</li><li>65</li><li>30 metres</li><li>9 metres</li><li>25%</li><li>15%</li><li>1 storey</li></ul>
49.4	SP.21 District is hereby designated as a commercial district.

Schedule - 'X' To Section - 49  
MAP - 1 (north part)



PART-2 Open Space - Public Walkway

SCHEDULE - A TO  
BY-LAW 1988-243  
PASSED THE 3rd DAY  
OF October, 1988  
(Sgd.) S. Sutherland  
(Sgd.) D. W. Oakes CLE







Schedule - X To Section - 49  
MAP-2 (south part)

SCHEDULE - A TO  
BY-LAW 1988-243  
PASSED THE 3rd DAY  
OF October, 1988.

(Sgd-) S. Sutherland MAVC

(Sgd.) D. W. Oakes CLER

**PART-2 Open Space - Public Walkway**

15  
14  
13  
12  
11

010

## PART I

— S S L C N C

**PART 2**

100-443881-1

**Z-8843**

Survey by Elliott & Parr, O.L.S.

**SECTION 50**

**SPECIAL DISTRICT 22 (SP.22)**

**PERMITTED USES**

50.1 No person shall within an SP.22 District, use any land or erect, alter or use any building or part thereof for any purpose other than:

- (a) a restaurant
- (b) a motor vehicle, boat, trailer, travel trailer or mobile home retail sales establishment
- (c) a rental establishment
- (d) a repair shop

**REGULATIONS**

50.2 No person shall within an SP.22 District use any land or erect, alter or use any building or part thereof except in accordance with the following regulations:

Type	Requirement
a) maximum building height	6 metres
b) landscaped open space of a minimum width of 9 metres shall be provided and maintained along a lot line abutting a residential or development district	
c) landscaped open space of a minimum width of 6 metres shall be provided and maintained along the street line on Morrow Street	

50.3 SP.22 District is hereby designated as a commercial district.

## SECTION 51

### SPECIAL DISTRICT 23 (SP.23)

51.1 For the purpose of this district "Special District 23" is hereby established and may be referred to by the symbol "SP.23".

#### PERMITTED USES

51.2 No person shall within an SP.23 District use any land or erect, alter or use any building or part thereof for any purpose other than:

- (a) a bank
- (b) a financial institution
- (c) a loan company
- (d) an office, excluding a veterinary office
- (e) a clinic
- (f) a beauty shop
- (g) a dressmaker or tailor shop
- (h) a shoe shine parlour or a shoe repair shop
- (j) a dry-cleaning establishment - Class 2
- (k) a studio or craft workshop
- (l) a library, museum or art gallery
- (m) a restaurant
- (n) a service station
- (o) a retail establishment including a convenience retail store, drug store or bakeshop for the sale of:
  - i) food
  - ii) optical supplies
  - iii) books, magazines and stationery
  - iv) smoking supplies
  - v) art supplies
  - vi) floral and horticultural products
  - vii) photographic supplies
  - viii) paint, wallpaper and decorating supplies
  - ix) sporting goods (excluding boats, snowmobiles, motorcycles, motors)
  - x) pharmaceuticals
  - xi) jewellery
  - xii) radio, television, electrical and home appliances
  - xiii) clothing
  - xiv) hardware
- (p) an establishment wherein any of the foregoing merchandise of Section (o) is rented or repaired
- (q) a sub-post office.

#### REGULATIONS

51.3 No person shall within an SP.23 district use any land or erect, alter or use any building or part thereof except in accordance with the following regulations:

Type	Requirement
a) maximum floor area for: <ul style="list-style-type: none"><li>i) a retail establishment for the sale of food</li><li>ii) any other purpose</li></ul>	745 square metres 140 square metres
b) maximum total floor area	1,485 square metres
c) maximum building coverage	30%
d) minimum building setback - side lot line or rear lot line	3 metres
e) minimum landscaped open space	10% of the area of the lot
f) maximum building height	4.5 metres

g) notwithstanding Section 51.3(g), maximum building height of any building located within the westerly 30 metres (100 feet) of the district	8.5 metres
h) landscaped open space including a planting strip, having a minimum width of 3 metres shall be provided and maintained along a lot line abutting a residential or development district	
j) maximum number of service bays for a service station	2
k) an accessory building or waste receptacle or garbage storage area may be erected or located within the district provided the following regulations are complied with: <ul style="list-style-type: none"> <li>i) minimum building setback</li> <li>ii) maximum height</li> <li>iii) maximum site area or building area</li> </ul>	9 metres 4.5 metres 37 square metres
51.4	SP.23 District is hereby designated as a commercial district.

## SECTION 52

### SPECIAL DISTRICT 24 (SP.24)

52.1 For the purpose of this by-law, land use district "Special District 24" is hereby established and may be referred to as the symbol "SP.24".

#### PERMITTED USES

52.2 No person shall within an SP.24 district use any land or erect, alter or use any building or part thereof for any purpose other than:

- a) a dwelling unit
- b) an office excluding a veterinary office
- c) a clinic
- d) a retail establishment, excluding a purpose set forth in Section 16.1(a) and 16.1(o)
- e) a bank, loan or financial institution
- f) a video rental establishment
- g) a personal service use
- h) a convenience retail store
- j) a studio or craft workshop
- k) a trade school
- l) an art school, music school, dance school or fine art school
- m) a school
- n) a day nursery
- o) a library, museum or art gallery
- p) a police station, jail or fire hall
- q) a restaurant
- r) a hotel
- s) a place of entertainment
- t) a place of assembly
- u) a gymnasium or health club
- v) a club house or lodge hall
- w) a private club
- x) a place of amusement
- y) a parking lot or parking garage
- z) a funeral parlour
- aa) a printing shop or publishing house
- bb) a transportation terminal
- cc) a communication terminal

#### REGULATIONS

52.3 No person shall within an SP.24 district use any land or erect, alter or use any building or part thereof except in accordance with the following regulations:

Type	Requirement								
a) minimum lot area	1,250 square metres								
b) minimum building setback <ul style="list-style-type: none"><li>i) south lot line</li><li>ii) west lot line</li></ul>	the lesser of the existing yard or 1.5 metres the lesser of the existing yard or 3 metres								
c) maximum building coverage	60%								
d) maximum building height	2 storeys								
e) for purposes of this land use district, each parking space shall be at least 2.5 metres by 5.5 metres, and shall be readily accessible and usable at all times by way of a driveway conforming to the following:	<table><tr><td><u>Angle of Parking</u></td><td><u>Aisle Width</u></td></tr><tr><td>0-45 degree</td><td>3.6 metres</td></tr><tr><td>46-60 degree</td><td>4.8 metres</td></tr><tr><td>61-90 degree</td><td>6.0 metres</td></tr></table>	<u>Angle of Parking</u>	<u>Aisle Width</u>	0-45 degree	3.6 metres	46-60 degree	4.8 metres	61-90 degree	6.0 metres
<u>Angle of Parking</u>	<u>Aisle Width</u>								
0-45 degree	3.6 metres								
46-60 degree	4.8 metres								
61-90 degree	6.0 metres								
f) notwithstanding the provisions of Section 6.11, the minimum building setback from the centre line of Simcoe Street shall be 14 metres									
g) notwithstanding the provisions of Section 4.6.2, no vehicle loading space shall be required within this land use district									

h) a dwelling unit shall be located only in a second storey	
52.4	SP.24 District is hereby designated as a commercial district.

## SECTION 53

### SPECIAL DISTRICT 25 (SP.25)

#### PERMITTED USES

53.1 No person shall within an SP.25 District use any land or erect, alter or use any building or part thereof for any purpose other than:

- (a) dairy products bar at which beverages, light meals, cigarettes, candies and small souvenirs may also be sold.
- (b) a drive-in pick-up outlet for dairy products
- (c) a picnic area and outdoor eating area
- (d) an off-street car parking area

#### REGULATIONS

53.2 No person shall within an SP.25 District use any land or erect, alter or use any building or part thereof except in accordance with the following regulations:

Type	Requirement
a) minimum building setback	
i) street line	15 metres
ii) side lot line	3 metres
b) the location to entrances and exits from the said lands and premises to the Canal Road must be approved by the City before construction thereof	
53.3	SP.25 District is hereby designated as a commercial district.

## SECTION 54

### SPECIAL DISTRICT 26 (SP.26)

54.1 For the purpose of this by-law, land use district "Special District 26" is hereby established and may be referred to as the symbol "SP.26".

#### PERMITTED USES

54.2 No person shall within an SP.26 District use any land or erect, alter or use any building or part thereof for any purpose other than:

- (a) a clinic
- (b) an office excluding a veterinary office and a real estate office.

#### REGULATIONS

54.3 No person shall within an SP.26 District use any land or erect, alter or use any building or part thereof except in accordance with the following regulations:

Type	Requirement
a) the building shall be erected wholly within the area designated "Building Area – A" on the plan attached hereto as Schedule "A" to this section	
b) maximum building height	9 metres
c) landscaped open space shall be provided and maintained within the area designated "Landscaped Open Space – B" on the said plan	
d) the required motor vehicle parking spaces shall be located wholly within the area designated "Parking Areas – D" on the said plan	
e) driveway access to the said motor vehicle parking spaces shall be located only in the area designated "Driveway Area – C" on the said plan and no parking shall be permitted thereon	
f) planing strips shall be provided within the areas so designated on the said plan	
g) office space shall be located only within the limits of the existing building and shall not exceed a maximum floor area of 1,815 square metres	
54.4	SP.26 District is hereby designated as a commercial district.



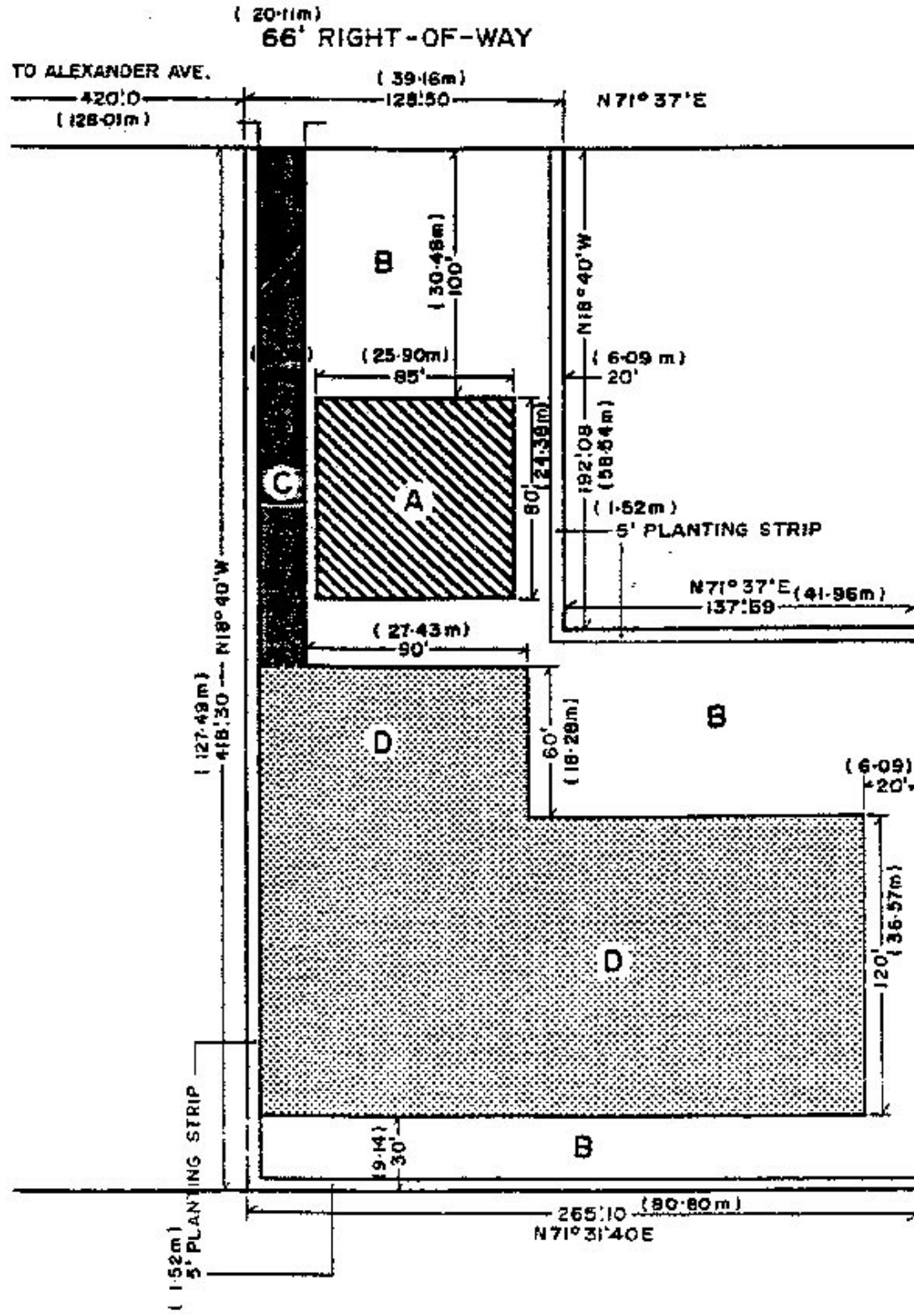
SP.26 DISTRICT AS DIMENSIONED

BUILDING AREA -- A

LANDSCAPED OPEN SPACE -- B

DRIVEWAY AREA -- C

PARKING DECKS -- D



## SECTION 55

### SPECIAL DISTRICT 27 (SP.27)

#### PERMITTED USES

55.1 No person shall within an SP.27 District use any land, or erect, alter or use any building or part thereof for any purpose other than:

- (a) a three unit dwelling
- (b) a quadruplex dwelling
- (c) a row dwelling containing not more than 12 dwelling units
- (d) a group dwelling containing not more than 16 dwelling units
- (e) an apartment dwelling containing not more than 15 dwelling units

#### REGULATIONS

55.2 No person shall within an SP.27 District use any land or erect alter or use any building or part thereof except in accordance with the following regulations:

Type	Requirement
a) minimum lot area per dwelling unit	250 square metres
b) minimum lot width	21 metres
c) minimum lot depth	30 metres
d) minimum building setback <ul style="list-style-type: none"><li>i) side lot line</li><li>ii) rear lot line</li></ul>	2.4 metres 9 metres
e) maximum building coverage	35%
f) maximum number of storeys	2
g) maximum lot coverage by open parking and driveway areas	25%
55.3	SP.27 District is hereby designated as a residential district.

## SECTION 56

### SPECIAL DISTRICT 28 (SP.28)

#### PERMITTED USES

56.1 No person shall within an SP.28 District use any land or erect, alter or use any building or part thereof for any purpose other than:

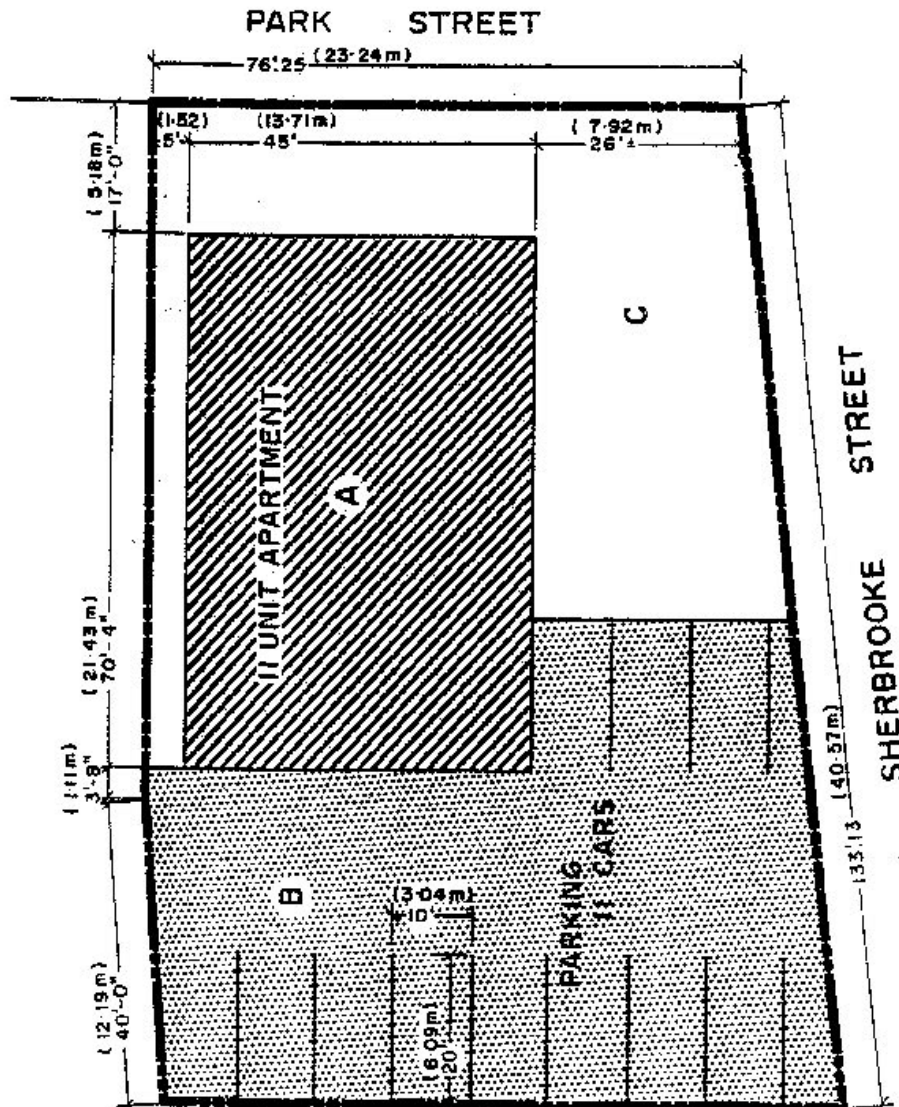
- (a) an apartment building

#### REGULATIONS

56.2 No person shall within an SP.28 District use any land or erect, alter or use any building or part thereof except in accordance with the following regulations:

Type	Requirement
a) maximum number of dwelling units	11
b) the building shall be erected wholly within the area designated "Building Area – A" on the plan attached thereto as Schedule "A" to this section	
c) eleven motor vehicle parking spaces shall be provided and maintained within the area designated "Parking and Drive Areas – B" on the said plan and driveway access thereto shall be located only within such area	
d) landscaped open space shall be provided and maintained in the area designated "Landscaped Open Space – C" on the said plan	
56.3	SP.28 District is hereby designated as a residential district.

SCHEDULE "A"  
TO SECTION 56



SP. 28 DISTRICT

BUILDING AREA — A

PARKING and DRIVE AREAS — B

LANDSCAPED OPEN SPACE — C



SCALE 1" = 20' (6.09m)

## SECTION 57

### SPECIAL DISTRICT 29 (SP.29)

57.1 For the purpose of this by-law, land use district "Special District 29" is hereby established and may be referred to by the symbol "SP.29".

#### PERMITTED USES

57.2 No person shall within an SP.29 District use any land or erect, alter or use any building or part thereof for any purpose other than:

- (a) an apartment dwelling containing not more than 30 dwelling units
- (b) a single unit dwelling
- (c) a two unit dwelling

#### REGULATIONS

57.3 No person shall within an SP.29 District use any land or erect, alter or use any building or part thereof except in accordance with the following regulations:

Type	Requirement
a) minimum lot area	2,000 square metres
b) minimum lot area per dwelling unit	185 square metres
c) minimum lot width	30 metres
d) minimum lot depth	50 metres
e) minimum building setback <ul style="list-style-type: none"><li>i) side lot line</li><li>ii) rear lot line</li></ul>	3 metres or one-half the height of the building whichever is the greater 9 metres or the height of the building whichever is the greater
f) maximum building coverage	30%
g) maximum number of storeys	3
h) maximum lot coverage by open parking areas, driveways and vehicle movement areas	25%
j) any single or two unit dwelling may only be maintained within the existing dwelling located within the area designated "Single or Two Unit Building – A" on Schedule "X" to this Section; attached hereto as Schedule "A" of this By-law. Upon destruction or removal of the building a single or two-unit dwelling shall not be established again	
k) notwithstanding the provisions of Section 4.3.2, a driveway may be located within 1.5 metres of a side lot line	
57.4	SP.29 District is hereby designated as a residential district.

SCHEDULE - A TO  
BY-LAW 1986-910  
PASSED THE 15th DAY  
OF December 1986

O. J. McDonald MAYOR  
Clerk

**SINGLE or TWO UNIT  
BUILDING AREA - 'A'**

**LAND AREA - 'B'**

SS.L.

21.19

44.19

82.47

108.20

28.34

65.87

4.78

N

**SINGLE or TWO UNIT  
BUILDING AREA - 'A'**

**LAND AREA - 'B'**

0 Metres 30.48

**Z-911**

## SECTION 58

### SPECIAL DISTRICT 30 (SP.30)

58.1 For the purpose of this by-law, land use district "Special District 30" is hereby established and may be referred to by the symbol "SP.30".

#### PERMITTED USES

58.2 No person shall within an SP.30 District use any land or erect, alter or use any building or part thereof for any purpose other than:

- (a) a clinic
- (b) a dwelling unit

#### REGULATIONS

58.3 No person shall within an SP.30 District use any land or erect, alter or use any building or part thereof except in accordance with the following regulations:

Type	Requirement
a) minimum floor area per dwelling unit	70 square metres
b) the maximum residential floor area in a building shall not exceed the commercial floor area therein	
c) the maximum number of residential dwellings	2
d) maximum floor area per commercial purpose	110 square metres
e) minimum lot width	30 metres
f) minimum lot depth	30 metres
g) minimum lot area	900 square metres
h) minimum building setback <ul style="list-style-type: none"><li>i) side lot line</li><li>ii) rear lot line</li></ul>	3 metres 9 metres
j) minimum landscaped open space	10% of the area of the lot
k) maximum number of storeys	2
l) an accessory building shall be permitted along a real lot line provided the following regulations are complied with: <ul style="list-style-type: none"><li>i) minimum building setback</li><li>ii) maximum building coverage</li><li>iii) maximum height</li></ul>	1.5 metres 10% 4.5 metres
m) landscaped open space of a minimum width of 1.5 metres shall be provided and maintained along all lot lines provided that such open space may be interrupted by driveways and buildings existing on the day of passage of the by-law	
58.4	SP.30 District is hereby designated as a commercial district.

## SECTION 59

### SPECIAL DISTRICT 31 (SP.31)

#### PERMITTED USES

59.1 No person shall within an SP.31 District use any land or erect, alter or use any building or part thereof for any purpose other than:

- (a) a single unit dwelling

#### REGULATIONS

59.2 No person shall within an SP.31 District use any land or erect, alter or use any building or part thereof except in accordance with the following regulations:

Type	Requirement
a) minimum lot area	2,785 square metres
b) minimum lot width	30 metres
c) minimum lot depth	45 metres
d) minimum building setback	
i) side lot line	3 metres
ii) rear lot line	9 metres
e) maximum building coverage	20%
f) maximum number of storeys	2
g) minimum floor area	70 square metres
h) Section 6.4 shall not apply to prevent the erection or use of a single unit dwelling on a lot in an SP.31 District notwithstanding that water distribution and wastewater collection facilities are not available to such lot	
59.3	SP.31 District is hereby designated as a residential district.



## SECTION 61

### SPECIAL DISTRICT 33 (SP.33)

61.1 For the purpose of this by-law, land use district "Special District 33" is hereby established and may be referred to by the symbol "SP.33".

#### PERMITTED USES

61.2 No person shall within an SP.33 District use any land or erect alter or use any building or part thereof for any purpose other than:

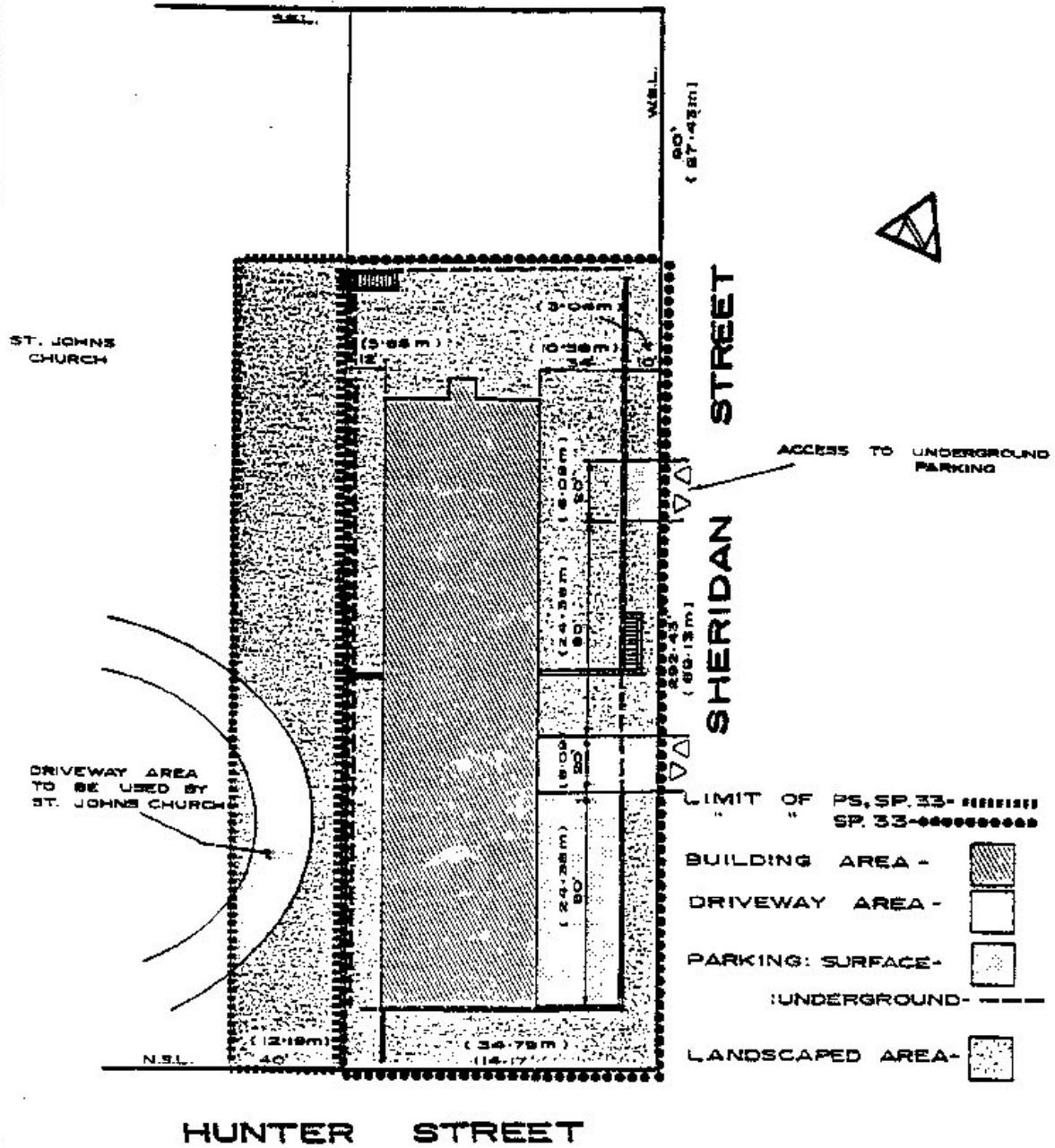
- (a) an apartment dwelling
- (b) a commercial parking garage

#### REGULATIONS

61.3 No person shall within an SP.33 District use any land or erect, alter or use any building or part thereof except in accordance with the following regulations:

Type	Requirement
a) any such building shall be erected wholly within the area designated "Building Area – A" on the plan attached hereto as Schedule "X" to this section	
b) any such building erected shall have a maximum height of 22 metres at the northerly end and 30 metres at the southerly end	
c) maximum number of dwelling units	105
d) 120 motor vehicle parking spaces shall be provided and maintained of which 116 spaces shall be located entirely within the under ground parking structure shown on the said plan and remaining 4 spaces shall be located in the area designated "Parking Area – C" on the said plan	
e) driveway access from the street to the said motor vehicle parking spaces shall be located wholly within the areas designated "Driveway Area – B" on the said plan	
f) surface parking and access thereto shall be located wholly within the area designated "Parking Area – C" on the said plan	
g) the limits of the underground parking structure shall be to the extent of the area designated as such on the plan and shall include all of the area beneath the said building	
h) landscaped open space shall be provided and maintained within the areas designated "Landscaped Area – D" on the said plan	
61.4 SP.33 District is hereby designated as a residential district.	

**SCHEDULE 'X' TO  
SECTION 61  
BROCK STREET**



## SECTION 62

### SPECIAL DISTRICT 34 (SP.34)

#### PERMITTED USES

62.1 No person shall within an SP.34 District use any land or erect, alter or use any building or part thereof for any purpose other than:

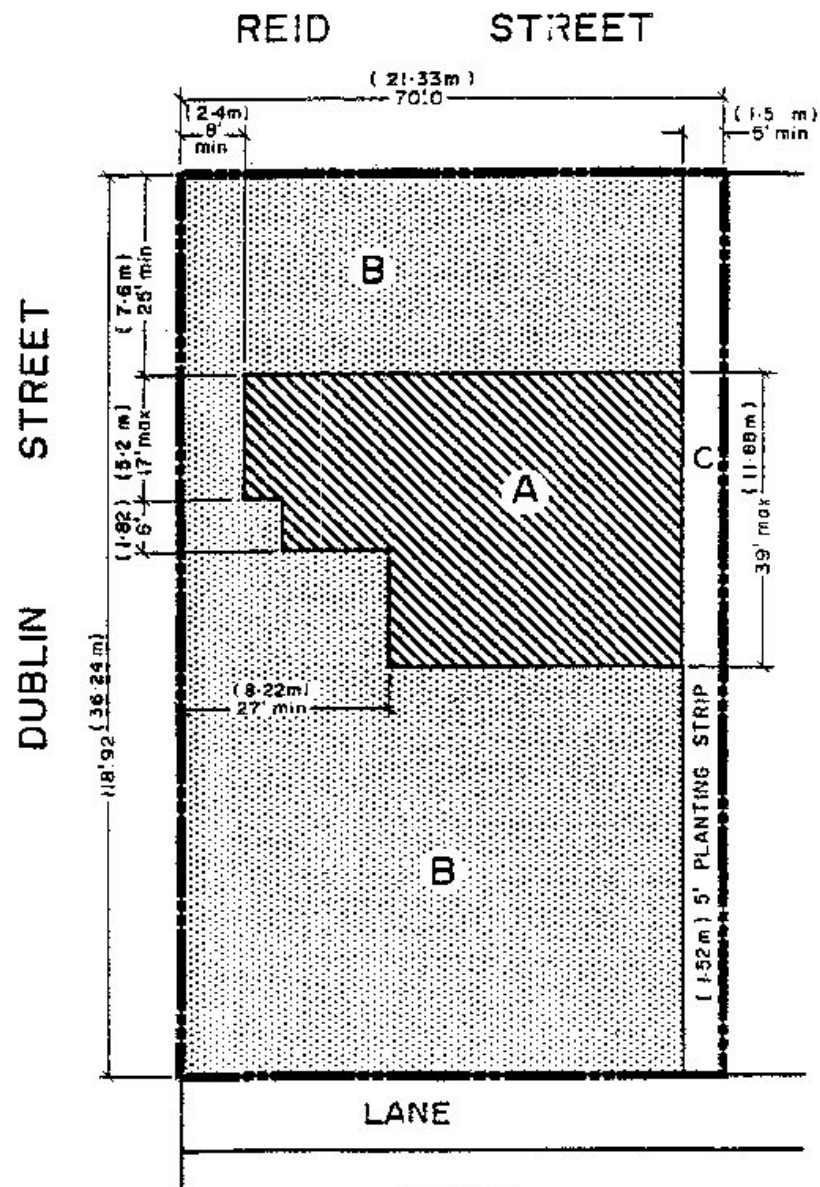
- (a) an automotive electric service establishment

#### REGULATIONS

62.2 No person shall within an SP.34 District use any land or erect, alter or use any building or part thereof except in accordance with the following regulations:

Type	Requirement
a) maximum building height	4.6 metres
b) the building shall be erected wholly within the area designated “Building Area – A” on the plan attached hereto as Schedule “A” to this section	
c) driveways, motor vehicle parking spaces and loading spaces shall be located only within the areas designated “Drive and Parking Areas – B” on the said plan	
d) no alteration or addition shall be made to the existing building and no new building shall be erected unless and until a decorative closed board fence has been erected along the west limit of the District, such fence to be not less than 1.8 metres and not more than 2.4 metres in height and landscaped open space and a planting strip have been provided and maintained within the area designated “Landscaped Open Space – C” on the said plan	
62.3 SP.34 District is hereby designated as a commercial district.	

SCHEDULE "A"  
TO SECTION 6



SP. 34 DISTRICT

BUILDING AREA - A

DRIVE and PARKING AREAS - B

LANDSCAPED OPEN SPACE - C



SCALE (6.09m)  
1" = 20'

## SECTION 63

### SPECIAL DISTRICT 35 (SP.35)

#### PERMITTED USES

63.1 No person shall within an SP.35 District use any land or erect, alter or use any building or part thereof for any purpose other than:

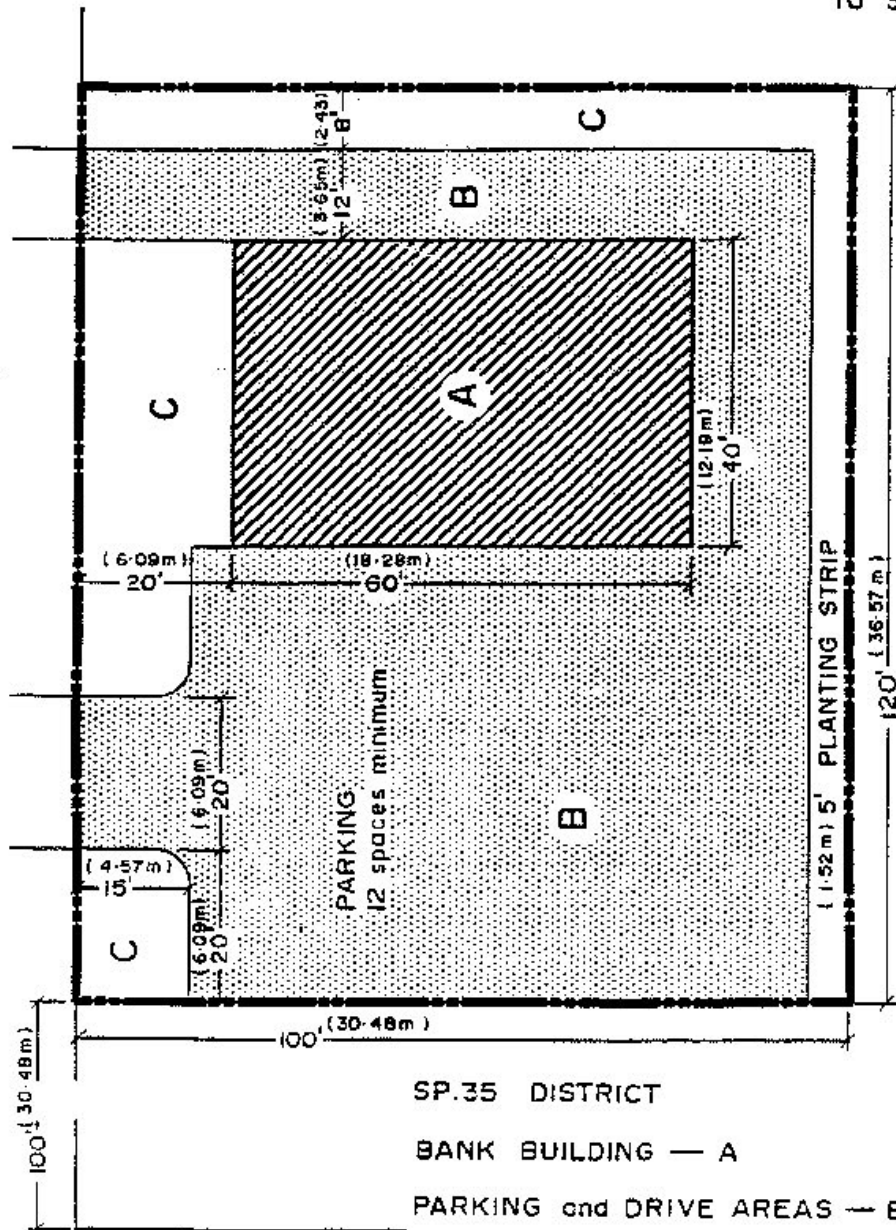
- (a) a bank

#### REGULATIONS

63.2 No person shall within an SP.35 District use any land or erect, alter or use any building or part thereof except in accordance with the following regulations:

Type	Requirement
a) maximum number of storeys	1
b) maximum building area	223 square metres
c) the building shall be erected wholly within the area designated "Bank Building – A" on the plan attached hereto as Schedule "A" to this section	
d) the required motor vehicle parking spaces shall be located wholly within the areas designated "Parking and Driveway Areas – B" on the said plan	
e) landscaped open space shall be provided and maintained within the areas designated "Landscaped Open Space – C" on the said plan	
f) planting strip shall be provided and maintained along a lot line abutting a residential or development district	
63.3 SP.35 District is hereby designated as a commercial district.	

BELLEVUE STREET

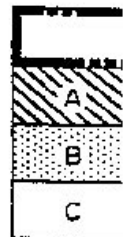


SP.35 DISTRICT

BANK BUILDING — A

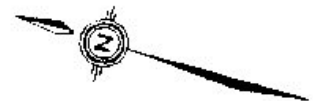
PARKING and DRIVE AREAS — B

LANDSCAPED OPEN SPACE — C



CHEMONG

ROAD



SCALE 1" = 20' (6.09m)

## SECTION 64

### SPECIAL DISTRICT 36 (SP.36)

#### PERMITTED USES

64.1 No person shall within an SP.36 District use any land or erect, alter or use any building or part thereof for any purpose other than:

- (a) a clinic
- (b) an office, excluding a veterinary office

#### REGULATIONS

64.2 No person shall within an SP.36 District use any land or erect, alter or use any building or part thereof except in accordance with the following regulations:

Type	Requirement
a) maximum number of storeys	2
b) minimum building setback - side lot line	7.6 metres
c) maximum building coverage	50%
d) landscaped open space of a minimum width of 1.5 metres shall be provided and maintained along the limits of the district provided that such open space may be interrupted by driveways	
e) planting strips shall be provided and maintained along the north and west limits of the district	
64.3 SP.36 District is hereby designated as a commercial district.	

## SECTION 65

### SPECIAL DISTRICT 37 (SP.37)

65.1 For the purpose of this by-law, land use district "Special District 37" is hereby established and may be referred to by the symbol "SP.37".

#### PERMITTED USES

65.2 No person shall within an SP.37 District use any land or erect, alter or use any building or part thereof for any purpose other than:

- (a) a row dwelling

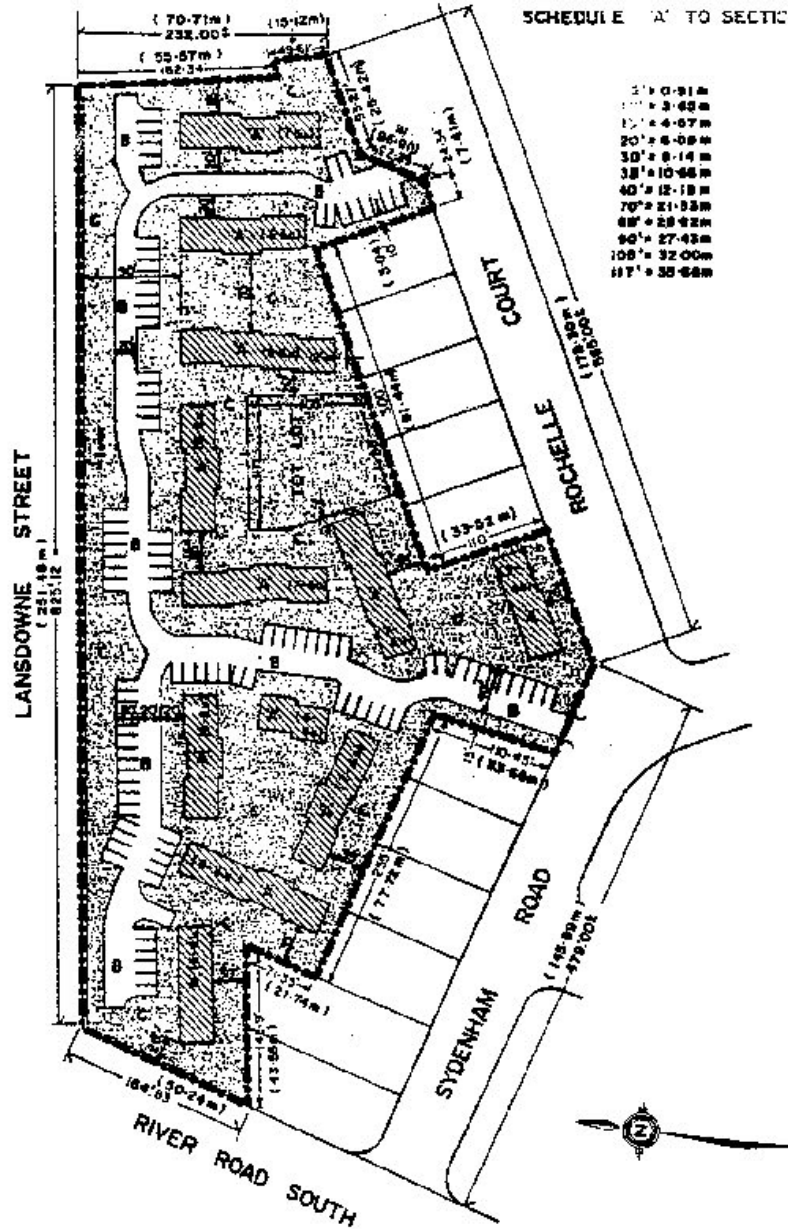
#### REGULATIONS

65.3 No person shall within an SP.37 District use any land or erect, alter or use any building or part thereof except in accordance with the following regulations:

Type	Requirement
a) any such building shall be erected wholly within one of the areas designated "Building Area – A" on the plan attached hereto as Schedule "A" to this section	
b) the required motor vehicle parking spaces shall be provided and maintained within the area designated "Parking and Drive Areas" on the said plan and driveway access thereto shall be located only within such areas	
c) landscaped Open Space shall be provided and maintained within the areas designated "Landscaped Open Space" on the said plan	
d) maximum number of dwelling units	77
e) maximum number of dwelling units per row dwelling	as noted within each "Building Area – A" on the said plan
f) maximum building height	2 storeys
g) a decorative closed board fence shall be erected and maintained along the north limit of the district, such fence to be at a height of not less than 1.2 metres and not more than 1.8 metres	
65.4 SP.37 District is hereby designated as a residential district.	



SCHEDULE 'A' TO SECTION



- 2' x 0-31 m
- 3' x 3-42 m
- 4' x 4-07 m
- 5' x 4-09 m
- 6' x 4-14 m
- 7' x 4-10-46 m
- 8' x 4-12-18 m
- 9' x 4-21-33 m
- 10' x 4-28-22 m
- 11' x 4-27-43 m
- 12' x 4-32-00 m
- 13' x 4-35-68 m

## SECTION 66

### SPECIAL DISTRICT 38 (SP.38)

66.1 For the purpose of this by-law, land use district "Special District 38" is hereby established and may be referred to by the symbol "SP.38".

#### PERMITTED USES

66.2 No person shall within an SP.38 District use any land or erect, alter or use any building or part thereof for any purpose other than:

- (a) a bank, financial institution or loan company
- (b) an office, excluding a veterinary office
- (c) a clinic
- (d) a barber shop
- (e) a beauty shop
- (f) a dressmaker or tailor shop
- (g) a shoe shine parlour or a shoe repair shop
- (h) a dry-cleaning establishment - Class 2
- (j) a studio or craft workshop
- (k) a library, museum or art gallery
- (l) a retail establishment including a drug store or bakeshop for the sale of:
  - i) food
  - ii) optical supplies
  - iii) books, magazines, cards and stationery
  - iv) smoking supplies
  - v) art supplies
  - vi) floral and horticultural products
  - vii) photographic supplies
  - viii) paint, wallpaper and decorating supplies
  - ix) sporting goods (excluding boats, snowmobiles, motorcycles, motors)
  - x) pharmaceuticals
  - xi) watches and jewellery
  - xii) radio, television, electrical and home appliances
  - xiii) clothing
  - xiv) office and medical supplies
  - xv) musical instruments, sound equipment, records and tapes
  - xvi) wine and liquor
- (m) an establishment wherein any of the foregoing merchandise of section (l) is rented or repaired
- (n) a sub-post office
- (o) a photographer
- (p) a hardware store

## REGULATIONS

66.3 No person shall within an SP.38 District use any land or erect, alter or use any building or part thereof except in accordance with the following regulations:

Type	Requirement
a) minimum lot width	89 metres
b) minimum lot depth	50 metres
c) minimum lot area	4,450 square metres
d) maximum number of storeys	2
e) maximum building floor area	1,645 square metres
f) maximum floor area of any commercial purpose other than a drugstore, a hardware store, retail establishment for the sale of wine and liquor, a clinic, an office or a bank, financial institution or loan company	140 square metres
g) maximum floor area of a drugstore or hardware store	372 square metres
h) any such building shall be erected wholly within the area designated "Building Area" on the plan attached hereto as Schedule "X" to this section	
j) the required motor vehicle parking spaces shall be located wholly within the areas designated "Parking Area" on the said plan	
k) the required commercial vehicle loading space shall be located wholly within the area designated "Loading Area" on the said plan	
l) landscaped open space shall be provided and maintained within the areas designated "Landscaped Area" on the said plan. Such landscaped open space may be interrupted where driveways or walkways cross	
66.4 SP.38 District is hereby designated as a commercial district.	

CHAIN LINK  
FENCE

ONE WAY  
CHAIN LINK GATE

四三·三·四

CHEMONG ROAD

22-47 E

## 45.7M TO BELLEVUE

ETRES (m)

LOCATE DRIVEWAY ACCESS POINTS  
TO SATISFACTION OF CITY ENGINEER.

1 : 500

**JUNE 24, 1950**

**Z-452-A**

**DITCHBURN**

ONE STORY  
BUILDING —

**PARKING &  
DRIVEWAY—**

LOADING —

## LANDSCAPING

**- GARBAGE  
ENCLOSURE  
3-6 x 4.5m**

**VISUAL &  
SOUND RELIEF  
FENCE**

-LOADING BAY  
E-6 8.12.10

### CHAIN LINK FENCE

ONE WAY  
CHAIN LINK  
GATE

日本銀行

CHAIN LINK FENCE 16.25 RETURN

## SECTION 67

### SPECIAL DISTRICT 39 (SP.39)

67.1 For the purpose of this by-law, land use district "Special District 39" is hereby established and may be referred to by the symbol "SP.39".

#### PERMITTED USES

67.2 No person shall within an SP.39 District use any land or erect, alter or use any building or part thereof for any purpose other than:

- (a) an office, excluding a veterinary office
- (b) a clinic

#### REGULATIONS

67.3 No person shall within an SP.39 District use any land or erect, alter or use any building or part thereof except in accordance with the following regulations:

Type	Requirement
a) maximum number of storeys	2
b) maximum building coverage	35%
c) minimum building setback - side lot line or rear lot line	1.5 metres
d) notwithstanding the provisions of Section 4, two of the required parking spaces need not be readily accessible and usable at all times	
67.4 SP.39 District is hereby designated as a commercial district.	

## SECTION 69

### SPECIAL DISTRICT 41 (SP.41)

#### PERMITTED USES

69.1 No person shall within an SP.41 District use any land or erect, alter or use any building or part thereof for any purpose other than:

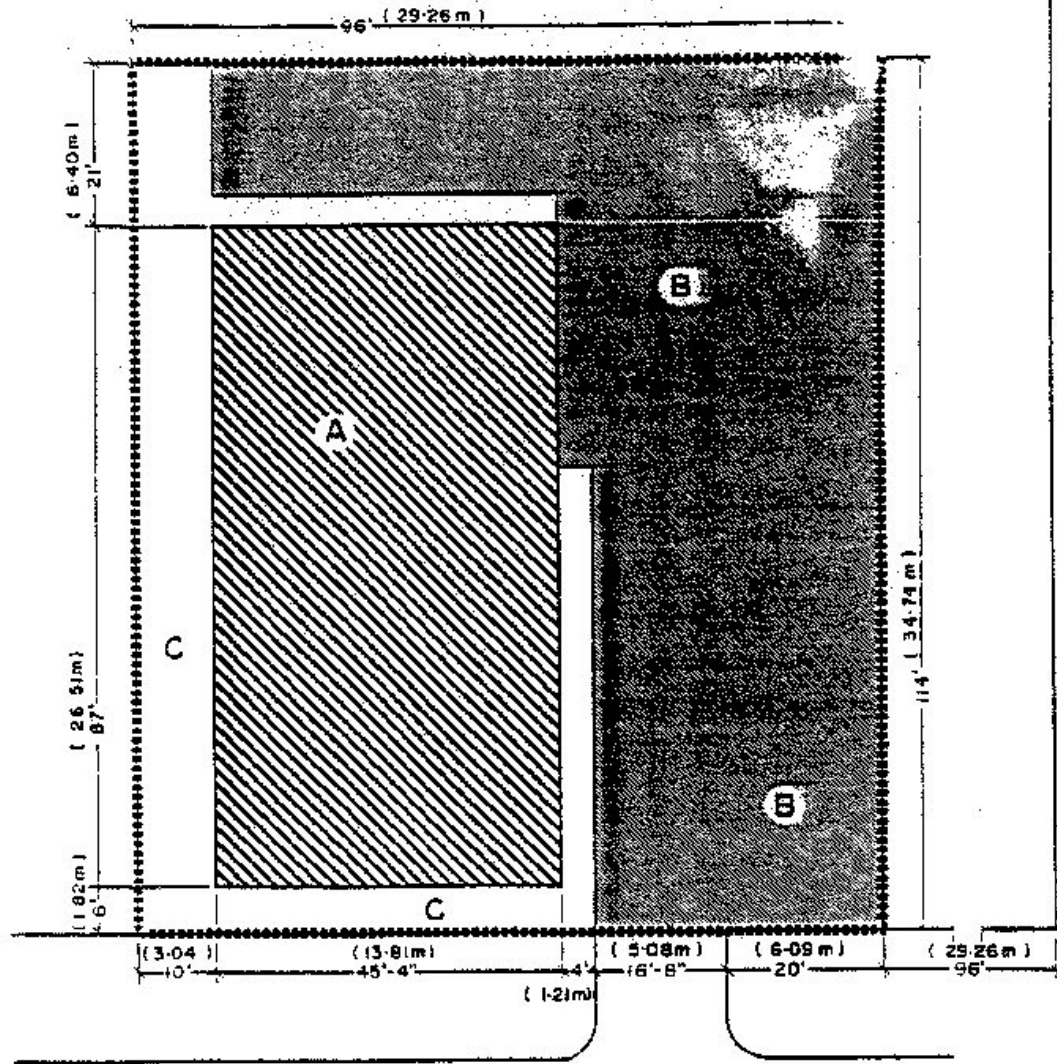
- (a) an office, excluding a veterinary office

#### REGULATIONS

69.2 No person shall within an SP.41 District use any land or erect, alter or use any building or part thereof except in accordance with the following regulations:

Type	Requirement
a) the building shall be erected wholly within the area designated "Building Area – A" on the plan attached hereto as Schedule "A" to this section	
b) maximum number of storeys	2
c) the area designated "Parking-Drive-Walk Areas – B" on the said plan shall be used only for motor vehicle parking and driveway access thereto	
d) landscaped open space shall be provided and maintained within the area designated "Landscaped Area – C" on the said plan	
69.3 SP.41 District is hereby designated as a commercial district.	

SCHEDULE 'A' TO SECTION 59



SHERIDAN

STREET

SP. 41 DISTRICT

BUILDING AREA - A

PARKING-DRIVE-WALK AREAS - B

LANDSCAPED AREAS - C



SCALE 1" = 20' (6.09 m)



## SECTION 70

### SPECIAL DISTRICT 42 (SP.42)

70.1 For the purpose of this by-law, land use district “Special District 42” is hereby established and may be referred to by the symbol “SP.42”.

#### PERMITTED USES

70.2 No person shall within an SP.42 District use any land or erect, alter or use any building or part thereof for any purpose other than:

- (a) an apartment dwelling

#### REGULATIONS

70.3 No person shall within an SP.42 District use any land or erect, alter or use any building or part thereof except in accordance with the following regulations:

Type	Requirement
a) maximum number of units	34
b) minimum building setback – side lot line or rear lot line	4 metres
c) maximum building coverage	30%
d) maximum number of storeys	4
e) minimum lot area	3,300 square metres
f) maximum lot coverage by open parking areas, driveways and vehicle movement areas	40%
g) minimum landscaped open space	30% of the area of the lot
h) notwithstanding the provisions of section 4.3, 40% of the required motor vehicle parking spaces may be a minimum size of 2.3 metres by 5.2 metres	
j) notwithstanding the provisions of Section 4.3.2, motor vehicle parking spaces may be located a minimum distance of 4.5 metres from the windows of habitable rooms	
70.4	SP.42 District is hereby designated as a residential district.



## SECTION 71

### SPECIAL DISTRICT 43 (SP.43)

71.1 For the purpose of this by-law, land use district "Special District 43" is hereby established and may be referred to by the symbol "SP.43".

#### PERMITTED USES

71.2 No person shall within an SP.43 District use any land or erect, alter or use any building or part thereof for any purpose other than:

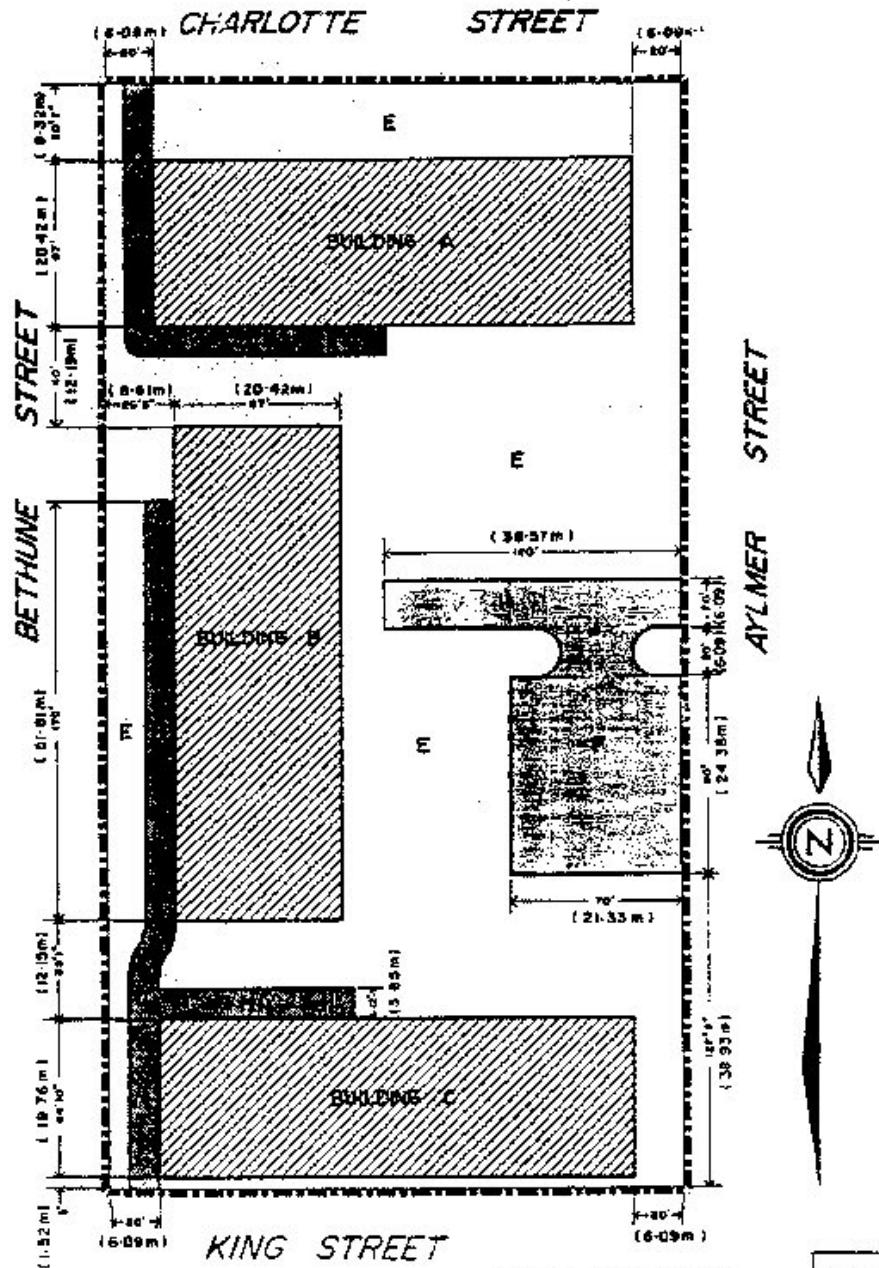
- (a) an apartment building
- (b) a commercial parking garage or parking lot
- (c) any of the following purposes if located in a building located within one of the areas designated "Building A", "Building B", "Building C" or "Building K", on the plan attached hereto as Schedule "X" to this section
  - i) a bank, financial institution or loan company
  - ii) an office, excluding a veterinary office
  - iii) a clinic
  - iv) a barber shop
  - v) a beauty shop
  - vi) a dressmaker or tailor shop
  - vii) a shoe shine parlour or a shoe repair shop
  - viii) a dry-cleaning establishment - Class 2
  - ix) a studio or craft workshop
  - x) an art school, music school, dance school or fine arts school
  - xi) a library, museum or art gallery
  - xii) a restaurant
  - xiii) a place of entertainment
  - xiv) a gymnasium or health club
  - xv) a place of assembly
  - xvi) club house or lodge hall
  - xvii) a church
  - xviii) a taxi stand
  - xix) a sub-post office
  - xx) a day nursery
  - xxi) a printing shop
  - xxii) an establishment for the sale, rental or repair of:
    - radio, television, electrical and home appliances
    - furniture
    - shoes and clothing
    - jewellery
    - optical supplies
    - musical instruments
    - floral and horticultural products
    - photographic supplies
    - sporting goods
  - xxiii) an establishment for the sale of:
    - hardware
    - new auto parts and accessories
    - art supplies
    - antiques
    - food
    - beer, wine or liquor
    - dry goods
    - books, magazines and stationery
    - smoking supplies
    - pets
    - paint, wallpaper and decorating supplies
    - pharmaceuticals

## REGULATIONS

71.3 No person shall within an SP.43 District use any land or erect, alter or use any building or part thereof except in accordance with the following regulations:

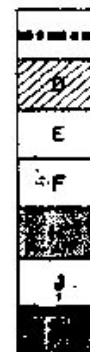
Type	Requirement
a) any such building shall be erected wholly within one of the areas designated “Building A”, “Building B”, “Building C”, “Building D” or “Building K” on the said plan	
b) maximum number of storeys: i) Building A ii) Building B iii) Building C iv) Building D v) Building K	14 storeys 8 storeys 7 storeys 6 storeys 2 storeys
c) maximum number of dwelling units: i) Building A ii) Building B iii) Building C iv) Building D	130 84 96 92
d) Building C and Building D shall be occupied predominantly by persons fifty-five years of age and over	
e) dwelling units in “Building A”, “Building B” and “Building C” shall be located only in a second or higher storey	
f) the following regulation shall apply to the purposes in clause (c) of Section 71.2: i) such purposes shall be located only on a first floor when located within “Building A”, “Building B”, and “Building C”	
g) landscaped open space shall be provided and maintained within the areas designated “Landscaped Open Space” on the said plan	
h) notwithstanding the provisions of Section 4: i) 385 motor vehicle parking spaces shall be provided and maintained wholly within the district in the areas designated “Parking Area” on the said plan and in underground parking structures located entirely below lot grade within the district; 73 of which, shall be located within the areas designated “Parking Area” on the said plan and 312 of which shall be located in underground parking structures located entirely below lot grade ii) a minimum of 6 commercial vehicle loading spaces shall be provided and maintained wholly within the areas designated “Loading Area” on the said plan iii) driveway access to the required motor vehicle parking spaces shall be provided and maintained wholly within the areas designated “Driveway” on the said plan	
j) notwithstanding the provisions of Section 6.8 the said underground parking structures may be erected up to the street line of Aylmer Street and the street line of Bethune Street	

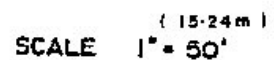
<p>k) open space similar to “Landscaped Open Space” shall be provided and maintained on the whole of the roof of “Building B” and such space shall be made available to the residents of the dwelling units in “Building A”, “Building B”, “Building C” and “Building D”</p>	
<p>71.4</p>	<p>SP.43 District is hereby designated as a residential district.</p>



- SPECIAL DISTRICT 43
- BUILDING AREA A, B, C, D
- LANDSCAPED OPEN SPACE
- PARKING AREA
- LOADING AREA
- DRIVEWAYS
- AREA K

SCALE 1" = 50' (15.24m)





**SECTION 73  
SPECIAL DISTRICT (SP. 45)**

73.1 For the purpose of this by-law, land use district "Special District 45" is hereby established and may be referred to as the symbol "SP. 45".

**PERMITTED USES**

73.2 No person shall within an SP.45 district use any land or erect, alter or use any building or part thereof for any purpose other than:

- a. an office;
- b. a clinic;
- c. a dwelling;
- d. a nursing home
- e. a home for the aged
- f. a public administration establishment
- g. a church
- h. a school
- j. community centre
- k. a museum, library or art gallery

**REGULATIONS**

73.3 No person shall within an SP.45 district use any land or erect, alter or use any building or part thereof except in accordance with the following regulations:

a) a permitted use shall be limited to the building existing on the date of the passage of this by-law	
b) maximum number of dwelling units: (i) within the 1908 Normal School portion of the building (ii) within the 1975 portion of the building	25 10
c) an office or clinic use shall be restricted to the 1975 portion of the building	
d) total maximum building floor area	5,037 square metres
e) total maximum building floor area for all office and clinic uses;	1,490 square metres
f) total maximum building floor area for clinic uses	1,000 square metres
g) maximum building floor area per commercial purpose for a clinic use	200 square metres
h) maximum number of residents in a nursing home or home for the aged	80

j) maximum lot coverage by open parking areas, driveways and vehicle movement areas;	45%
k) landscaped open space, except as interrupted by driveways, shall be provided and maintained in accordance with the following: <ul style="list-style-type: none"> <li>(i) along the Benson Avenue street line</li> <li>(ii) along all other street lines</li> <li>(iii) along the northerly side lot line – Benson Avenue</li> <li>(iv) along the westerly side lot line – Aberdeen Avenue</li> <li>(v) along all other side or rear lot lines</li> </ul>	9 metres 3 metres 1.5 metres 1.5 metres 3 metres
l) minimum building setbacks shall be the existing building setbacks	

73.4 SP.45 is hereby designated as a residential district.

## SECTION 74

### SPECIAL DISTRICT 46 (SP.46)

74.1 For the purpose of this by-law, land use district "Special District 46" is hereby established and may be referred to by the symbol "SP.46".

#### PERMITTED USES

74.2 No person shall within an SP.46 District use any land or erect, alter or use any building or part thereof for any purpose other than:

- (a) a retail establishment for the sale of:
  - i) new motor vehicle parts
  - ii) floor and wall coverings, paint and decorating supplies
  - iii) dry goods
  - iv) radios, televisions and phonographic equipment
  - v) furniture, appliances and home furnishings
  - vi) carbonated beverages
  - vii) antiques
  - viii) clothing (By-law 1986-63)
  - ix) sporting goods (By-law 1986-63)
- (b) a retail establishment for the sale of the following merchandise provided such merchandise is sold, for the most part, through the use of catalogues on the premises:
  - i) new motor vehicle parts
  - ii) floor and wall coverings, paint and decorating supplies
  - iii) dry goods
  - iv) radios, televisions and phonographic equipment
  - v) furniture, appliances and home furnishings
  - vi) hardware
  - vii) photographic equipment and supplies
  - viii) musical instruments
  - ix) toys and games
  - x) sporting goods
  - xi) jewellery
  - xii) luggage
- (c) a bank, financial institution or loan company
- (d) a restaurant
- (e) a bake shop
- (f) a rental establishment for items other than motor vehicles and heavy equipment
- (g) a repair shop for items other than motor vehicles and heavy equipment
- (h) a printing shop
- (j) a dry-cleaning establishment - Class 2
- (k) a dry cleaning depot
- (l) a beauty salon
- (m) an office
- (n) a clinic
- (o) a convenience retail store
- (x) pets and pet supplies



**REGULATIONS**

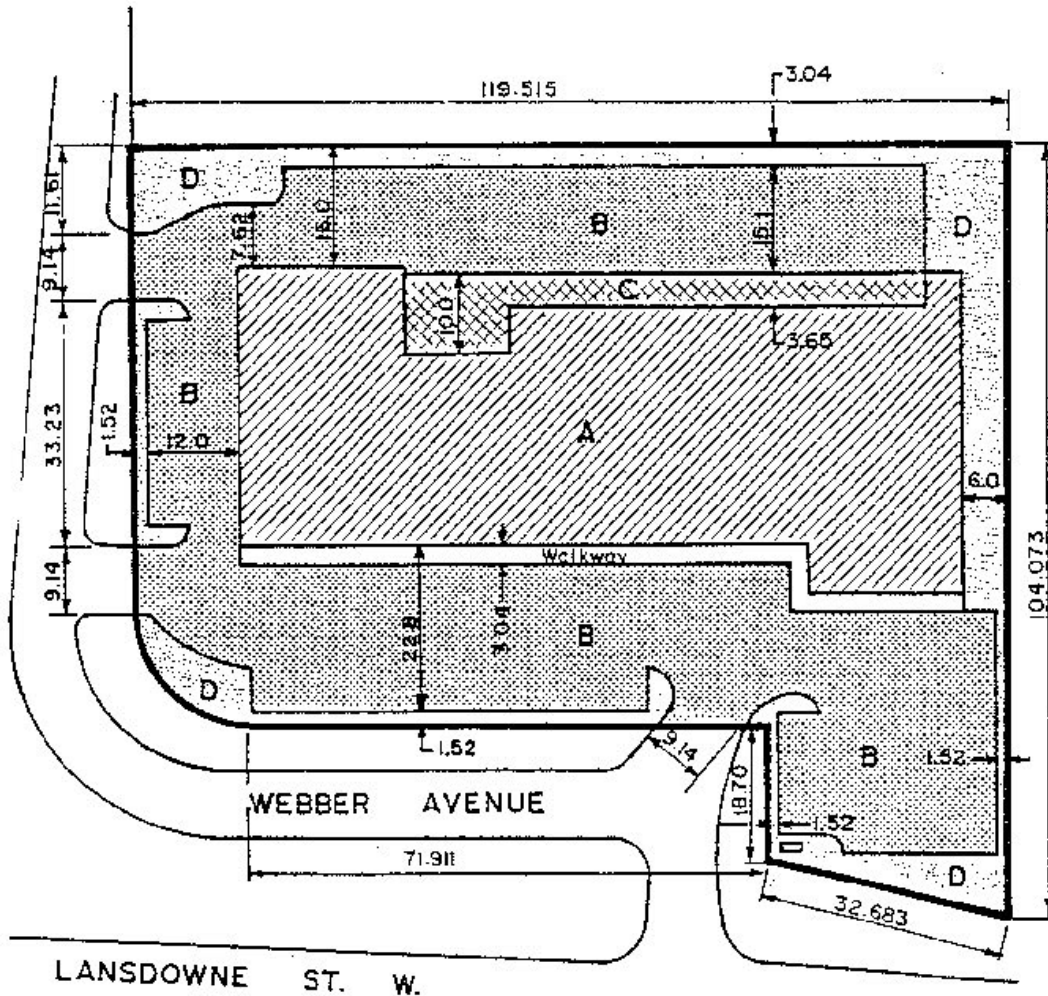
74.3 No person shall within an SP.46 District use any land or erect, alter or use any building or part thereof except in accordance with the following regulations:

Type	Requirement
a) maximum building floor area	3,255 square metres
b) maximum number of storeys	1
c) maximum floor area of a bank, financial institution or loan company	325 square metres
d) maximum floor area of purpose permitted in Section 74.2 (j),(k),(l),(m),(n),(o),(p), and (q)	235 square metres
e) any such building shall be erected wholly within the area designated "Building Area" on the plan attached hereto as Schedule 'X' to this section	
f) the required motor vehicle parking spaces and driveway access thereto shall be located wholly within the areas designated "Driveway and Parking Area" on the said plan	
g) the required commercial vehicle loading spaces shall be provided wholly within the areas designated "Loading Area" on the said plan	
h) landscaped open space shall be provided and maintained within the areas designated "Landscaped Area" on the said plan	
j) planting strips shall be provided and maintained along a lot line abutting a residential or development district	
k) the maximum floor area of a clothing or sporting goods store	750 square metres
l) the maximum floor area of all purposes permitted in Section 74.2(a) and 74.2(b)	2,000 square metres
m) the minimum size of a clothing or sporting goods store	465 square metres
74.4	SP.46 District is hereby designated as a commercial district.

Schedule 'X' to Section - 74

SCHEDULE - A TO  
BY-LAW 1986-63  
PASSED THE 5th DAY  
OF May 1986.

*[Signature]* MAYOR  
*[Signature]* CLERK



- ☐ Limit of SP.46 District
- ☒ Building Area
- ☒ Parking & Driveway Area
- ☒ Loading Area
- ☒ Landscaped Area

Metric  
N.T.S.



Z-887

## SECTION 75

### SPECIAL DISTRICT 47 (SP.47)

75.1 For the purposes of this by-law, land use district "Special District 47" is hereby established and may be referred to by the symbol "SP.47".

#### PERMITTED USES

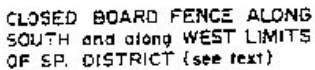
75.2 No person shall within an SP.47 District use any land or erect, alter or use any building or part thereof for any purpose other than:

- (a) an apartment dwelling

#### REGULATIONS

75.3 No person shall within an SP.47 District use any land or erect, alter or use any building or part thereof except in accordance with the following regulations:

Type	Requirement
a) any such building shall be erected wholly within one of the areas designated "Building - A", "Building - B", "Building - C" and "Building - D" on the plan attached hereto as Schedule 'A' to this section	
b) landscaped open space shall be provided and maintained within the areas designated "E - Landscaped Open Space" on the said plan	
c) the required motor vehicle parking spaces and driveway access thereto shall be located wholly within the areas designated "F - Parking and Driveway Areas" on the said plan	
d) maximum number of dwelling units: i) Building A ii) Building B iii) Building C iv) Building D	8 12 8 12
e) maximum number of storeys	2
f) a decorative closed board fence shall be erected and maintained along the south and west limits of the district, such fence to be at a height of 1.2 metres from Water Street westerly for a distance of 6 metres and otherwise at a height of not less than 1.8 metres and not more than 2.4 metres	
g) in all other respects the district shall be developed, the buildings erected and the drainage established in accordance with the site plan attached hereto as Schedule 'B' to this section	
75.4	SP.47 District is hereby designated as a residential district.



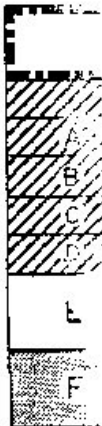
SP.47 DISTRICT

## BUILDING AREAS

A	BUILDING A
B	BUILDING B
C	BUILDING C
D	BUILDING D

E-LANDSCAPED OPEN SPACE

F-PARKING and DRIVEWAY AREAS



SCALE 1" = 60' (18.28m)



## SECTION 76

### SPECIAL DISTRICT 48 (SP.48)

76.1 For the purposes of this by-law, land use district "Special District 48" is hereby established and may be referred to by the symbol "SP.48".

#### PERMITTED USES

76.2 No person shall within an SP.48 District use any land or erect, alter or use any building or part thereof for any purpose other than:

- (a) a service station
- (b) a motor vehicle repair establishment

#### REGULATIONS

76.3 No person shall within an SP.48 District use any land or erect, alter or use any building or part thereof except in accordance with the following regulations:

Type	Requirement
a) maximum building height	4.6 metres
b) maximum number of service bays	4
c) the building shall be located wholly within the area designated "Building Area - A" on the plan attached hereto as Schedule 'A' to this section	
d) driveway access to the areas designated "Parking Area - D" shall be located wholly within the area designated "Driveway and Access - B" on the said plan	
e) landscaped open space shall be provided and maintained within the areas designated "Landscaped Open Space - C" on the said plan	
f) notwithstanding the provisions of Section 4.2(B) (7), a minimum of 19 motor vehicle parking spaces shall be provided and maintained within the areas "Parking Area - D" on the said plan	
g) notwithstanding the provisions of Section 4.6(B), one commercial vehicle loading space shall be provided within the area designated "Driveway and Access - B" on the said plan	
h) no alteration or addition shall be made to the existing building unless and until a decorative closed board fence is erected along the west limit of the district, such fence to be not less than 1.8 metres and not more than 2.4 metres in height	
76.4	SP.48 District is hereby designated as a commercial district.



## SECTION 77

### SPECIAL DISTRICT 49 (SP.49)

77.1 For the purpose of this by-law, land use district "Special District 49" is hereby established and may be referred to as the symbol "SP.49".

#### PERMITTED USES

77.2 No person shall within an SP.49 District use any land or erect, alter or use any building or part thereof for any purpose other than:

- a) an office
- b) a clinic
- c) a bank, loan company or financial institution
- d) a retail establishment for the sale of food
- e) a convenience retail store
- f) a video rental establishment
- g) a personal service use
- h) a sub post-office
- j) a dry cleaning depot
- k) a place of assembly
- l) a private club
- m) a place of entertainment
- n) an art school, music school, dance school or fine arts school
- o) a gymnasium or health club
- p) a place of amusement
- q) a hotel
- r) a restaurant
- s) a service station
- t) a car wash
- u) a public garage
- v) a retail establishment for the sale of:
  - i) motor vehicles
  - ii) motor vehicle parts
  - iii) building products and contractor supplies
  - iv) farm equipment
  - v) farm supplies, grain and feed
  - vi) boats, trailers, travel trailers and mobile homes
- w) a catalogue sales establishment
- x) a nursery or greenhouse
- y) a funeral parlour
- z) a police station
- aa) an ambulance station
- bb) a fire hall
- cc) a church
- dd) a library, museum or art gallery
- ee) an animal hospital or veterinary office
- ff) a rental establishment
- gg) a printing shop
- hh) a flea market
- jj) an auction hall
- kk) a parking lot or parking garage
- ll) a miniature golf course
- mm) a retail establishment, other than a use listed in subsection 77.2 (a) to (11) inclusive. (96-162)



## REGULATIONS

77.3 No person shall within an SP.49 District use any land or erect, alter or use any building or part thereof except in accordance with the following regulations:

Type	Requirement
a) maximum floor area for a retail establishment for the sale of food, an office or a clinic	745 square metres
b) maximum total floor area for all office and clinic uses	2,235 square metres
c) an office or clinic use shall only be located in a second or higher storey	
d) minimum building setback <ul style="list-style-type: none"> <li>i) side lot line</li> <li>ii) rear lot line</li> </ul>	10 metres 10 metres
e) maximum building coverage	30%
f) maximum building height	3 storeys
g) minimum landscaped open space width of 1.5 metres shall be maintained along all lot lines provided such open space may be interrupted by driveways	
h) an accessory building, waste receptacle or garbage storage area may be erected or located within the district excepting within the minimum required landscaped open space area, provided the following regulations are complied with: <ul style="list-style-type: none"> <li>i) minimum building setback</li> <li>ii) maximum height</li> <li>iii) maximum building or site area</li> </ul>	3 metres 3 metres 15 square metres
j) for purposes of this district, up to 10% of the area between a building and lot line may be used for the open display of merchandise associated with uses (f),(s),(t),(u),(v(iii),(x),(hh) and (jj)	
k) minimum floor area per purpose for a use listed in subsection 77.2(mm)	745 square metres
l) total maximum floor area for all uses listed in subsection 77.2 (mm)	3,300 square metres
77.4	SP.49 is hereby designated as a commercial district.