

**SECTION 230**

**SPECIAL DISTRICT 200 (SP.200)**

230.1 For the purpose of this by-law, land use district "Special District 200" is hereby established and may be referred to by the symbol "SP.200".

**PERMITTED USES**

230.2 No person shall within an SP.200 District use any land or erect, alter or use any building or part thereof for any purpose other than:

- (a) a two-unit dwelling

**REGULATIONS**

230.3 No person shall within an SP.200 District use any land or erect, alter or use any building or part thereof except in accordance with the following regulations:

<b>Type</b>	<b>Requirement</b>
a) minimum lot width	18 metres
b) minimum lot width per dwelling unit	9 metres
c) minimum lot depth	30 metres
d) minimum lot area	600 square metres
e) minimum lot area per dwelling unit	300 square metres
f) maximum building coverage	30%
g) minimum building setback i) side lot line ii) rear lot line	2 metres 8 metres
h) maximum number of storeys	2
j) any accessory building shall be located a minimum distance of 1.5 metres from a rear lot line, and shall not exceed 1 storey in height	
k) minimum floor area per dwelling unit	69 square metres
l) maximum lot coverage by open parking areas, driveways and vehicle movement areas	25%
230.4 SP.200 District is hereby designated as a residential district	

**SECTION 232**

**SPECIAL DISTRICT 202 (SP.202)**

232.1 For the purpose of this by-law, land use district "Special District 202" is hereby established and may be referred to by the symbol "SP.202".

**PERMITTED USES**

232.2 No person shall within an SP.202 District use any land or erect, alter or use any building or part thereof for any purpose other than:

- (a) an office, excluding a veterinary office
- (b) a clinic
- (c) a restaurant

**REGULATIONS**

232.3 No person shall within an SP.202 District use any land or erect, alter or use any building or part thereof except in accordance with the following regulations:

Type	Requirement
a) minimum lot area	7,000 square metres
b) minimum building setback i) side lot line ii) rear lot line	9 metres 30 metres
c) maximum building height i) existing ii) new	3 storeys 2 storeys
d) maximum building coverage	30%
e) minimum landscaped open space	20% of the area of the lot
f) maximum floor area	1,858 square metres
g) maximum lot coverage by open parking areas, driveways and vehicle movement areas	50%
h) landscaped open space of a minimum width of 1.5 metres shall be provided and maintained along all lot lines provided that such open space may be interrupted by driveways	
j) an accessory building, waste receptacle or garbage storage area may be erected or located within the district provided the following regulations are complied with: i) minimum building setback (side lot line) ii) minimum building setback (rear lot line) iii) maximum building height iv) maximum building or site area	9 metres 30 metres 3.7 metres 37 square metres
k) maximum floor area of a restaurant shall not exceed 50% of the floor area of a clinic and or an office erected and used in the district	
232.6 SP.202 District is hereby designated as a commercial district	

**SECTION 233**

**SPECIAL DISTRICT 203 (SP.203)**

233.1 For the purpose of this by-law, land use district "Special District 203" is hereby established and may be referred to by the symbol "SP.203".

**PERMITTED USES**

233.2 No person shall within an SP.203 District use any land or erect, alter or use any building or part thereof for any purpose other than:

- (a) an office and training classrooms for the St. John Ambulance
- (b) a purpose permitted in Section 7.1
- (c) a purpose permitted in Section 8.1

**REGULATIONS**

233.3 No person shall within an SP.203 District use any land or erect, alter or use any building or part thereof except in accordance with the following regulations:

Type	Requirement
a) no alteration or addition shall be made to the existing building	
b) no full-time office shall be operated	
c) no motor vehicle parking or driveway shall be provided at 178 Sophia Street	
d) notwithstanding the provisions of Sections 4.2 and 4.10, a minimum of two motor vehicle parking spaces shall be provided and maintained at 297 Armour Road	
e) no person shall within an SP.203 District use any land or erect, alter or use any building permissible under Section 233.2(b) and (c) unless the regulations outlined in Section 7.2 and 8.2 are complied with	
233.4 SP.203 District is hereby designated as a public service district	

**SECTION 234**

**SPECIAL DISTRICT 204 (SP.204)**

234.1 For the purpose of this by-law, land use district "Special District 204" is hereby established and may be referred to by the symbol "SP.204".

**PERMITTED USES**

234.2 No person shall within an SP.204 District use any land or erect, alter or use any building or part thereof for any purpose other than:

- (a) a boarding house

**REGULATIONS**

234.3 No person shall within an SP.204 District use any land or erect, alter or use any building or part thereof except in accordance with the following regulations:

<b>Type</b>	<b>Requirement</b>
a) minimum lot area	1,400 square metres
b) minimum lot width	53 metres
c) minimum building setback i) side lot line ii) rear lot line	7 metres the lesser of the existing setback or 9 metres
d) maximum number of storeys	3 storeys
e) maximum building coverage	30%
f) minimum landscaped open space	40% of the area of the lot
g) maximum lot coverage by open parking areas, driveways and vehicle areas	30%
h) maximum number of residents	30
j) notwithstanding the provisions of Section 4.2, a minimum of 12 motor vehicle parking spaces shall be provided and maintained within the district	
234.4 SP.204 District is hereby designated as a residential district	

**SECTION 235**

**SPECIAL DISTRICT 205 (SP.205)**

235.1 For the purpose of this by-law, land use district "Special District 205" is hereby established and may be referred to by the symbol "SP.205".

**DEFINITIONS**

235.2 For the purpose of this section:

- (a) "Home for the Aged" means a lodging house for occupation by persons 55 years of age and over or by the physically disabled.
- (b) "Accessory Use" for the purpose of this by-law, an occupant who is less than 55 years of age may be a resident in the home if the said person cohabits with another occupant of the home who is 55 years of age and over.
- (c) "Resident Activity Areas" means building floor area designated for communal recreational activities of the residents of the Home for the Aged.

**PERMITTED USES**

235.3 No person shall within an SP.205 District use any land or erect, alter or use any building or part thereof for any purpose other than:

- (a) a home for the aged

**REGULATIONS**

235.4 No person shall within an SP.205 District use any land or erect, alter or use any building or part thereof except in accordance with the following regulations:

Type	Requirement
a) minimum lot area	0.4 hectares
b) the home for the aged shall be located only within the area shown as "Building Area" on the plan attached hereto as Schedule "X" to Section 235	
c) notwithstanding the provisions of Section 4.2, a minimum of 31 motor vehicle parking spaces shall be provided and maintained within the district	
d) notwithstanding the provisions of Section 4.3.1, a maximum of 40% of the required motor vehicle parking spaces may be 3.2 metres by 5.1 metres	
e) maximum number of residents in the home for the aged	160
f) minimum floor area for any room or group of rooms used by a resident as separate living and sleeping area	9.3 square metres per resident
g) minimum area provided and maintained as landscaped open space	20% of the area of the lot
h) notwithstanding the provisions of Section 4.6, at least one loading space shall be provided and maintained within the district	

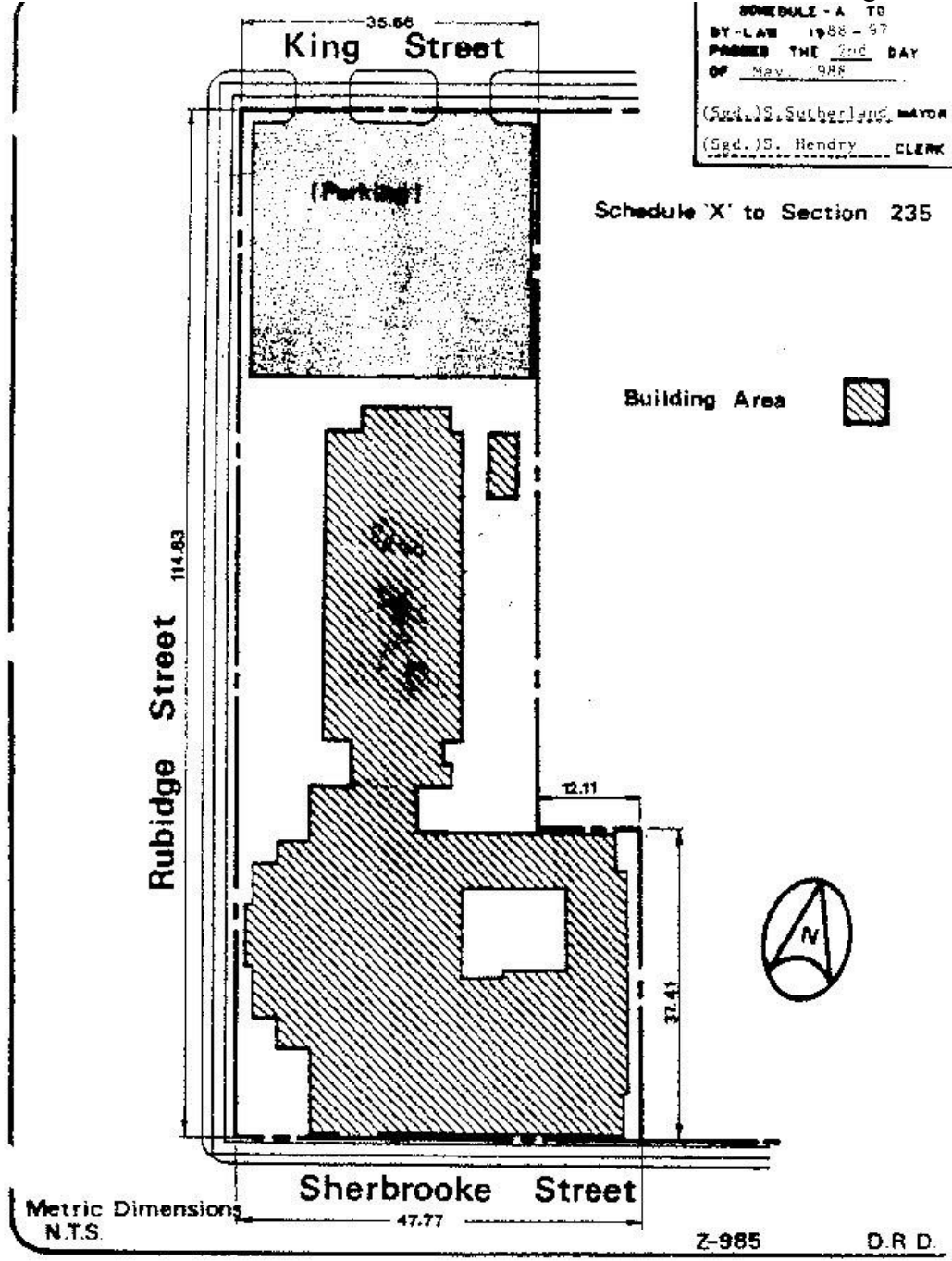
<p>j) an outdoor garbage disposal area if provided shall be enclosed with masonry walls extending at least 1 metre above the top of any bin placed within the enclosure and in all cases shall be a minimum of 1.8 metres high</p>	
<p>k) resident activity areas shall be provided in accordance with the following provisions:</p> <ul style="list-style-type: none"><li>i) minimum building floor area for resident activity areas</li><li>ii) at least one resident activity area per floor having a minimum floor area of 11 square metres</li></ul>	<p>700 square metres</p>
<p>235.5</p>	<p>SP.205 District is hereby designated as a public service district</p>

August 20, 2024

SCHEDULE - A TO  
BY-LAW 1988 - 97  
PASSED THE 2nd DAY  
OF May 1988  
(Sgd.) S. Sutherland MAYOR  
(Sgd.) S. Hendry CLERK

Schedule 'X' to Section 235

Building Area 



Metric Dimensions  
N.T.S.

Z-985

D.R.D.

**SECTION 236**

**SPECIAL DISTRICT 206 (SP.206)**

236.1 For the purpose of this by-law, land use district "Special District 206" is hereby established and may be referred to by the symbol "SP.206".

**PERMITTED USES**

236.2 No person shall within an SP.206 District use any land or erect, alter or use any building or part thereof for any purpose other than:

- (a) a church
- (b) a monastery, convent or other religious establishment
- (c) a library, museum or art gallery
- (d) a recreational hall or gymnasium
- (e) a skating rink, curling rink or arena

**REGULATIONS**

236.3 No person shall within an SP.206 District use any land or erect, alter or use any building or part thereof except in accordance with the following regulations:

<b>Type</b>	<b>Requirement</b>
a) minimum lot area	1 hectare
b) minimum lot depth	100 metres
c) maximum building coverage	35%
d) minimum building setback i) side lot line (east) ii) side lot line (other) iii) rear lot line	20 metres 9 metres or the height of the building, whichever is the greater 9 metres or the height of the building, whichever is the greater
e) landscaped open space of a minimum width of 6 metres shall be provided and maintained along all lot lines provided that such open space may be interrupted by driveways	
f) a planting strip shall be provided and maintained along the east limit of the district	
g) there shall be no open storage except for recreational equipment	
h) maximum lot coverage by open parking areas, driveways and vehicle movement areas	30% of the area of the lot
j) notwithstanding the provisions of Section 4, no motor vehicle parking spaces shall be located within 10 metres of any limit of the district	i) 8.92 metres East Limit ii) 2.67 metres North Limit iii) 10 metres All Other limits
Notwithstanding the provisions of Section 4.2(D)(5) - Area 3, 75 motor vehicle parking spaces shall be provided and maintained on the lot which is used for a church.	
236.4	SP.206 District is hereby designated as a public service district





**SECTION 237**

**SPECIAL DISTRICT 207 (SP.207)**

237.1 For the propose of this by-law, land use district "Special District 207" is hereby established and may be referred to by the symbol "SP.207".

**PERMITTED USES**

237.2 No person shall within an SP.207 district use any land or erect, alter or use any building or part thereof for any part other than:

- (a) an office for an employment agency or a personnel supplier, excluding supplying labourers for a fee
- (b) an office for computer services
- (c) an office for accountants, architects, lawyers and notaries
- (d) an office for engineering and scientific services excluding any laboratory operation
- (e) an office of management and business consultants
- (f) an office for services to business excluding blister packaging, duplicating and blue printing services, messenger or courier service, sign painting, news and picture gathering

**REGULATIONS**

237.3 No person shall within an SP.207 District use any land or erect, alter or use any building or part thereof except in accordance with the following regulations:

Type	Requirement
a) the building existing on the day of the passage of this by-law within the limits of the district may be used for any of the permitted uses but no further extension or addition may be made thereto	
b) any new building subsequently erected within the district is subject to the following regulations: i) maximum total floor area ii) maximum number of storeys iii) minimum building setback i) side lot line ii) rear lot line	230 square metres  2 2.4 metres 7.6 metres
c) notwithstanding the provisions of Section 4, the required parking may only be located in the northerly 9 metres of the district and the area therein shall satisfy the requirement of motor vehicle parking spaces for this district	
d) those parts of the district, other than those used for motor vehicle parking spaces and the area occupied by the building shall be maintained and improved as landscaped open space	
e) driveway access to the motor vehicle parking spaces shall be over the public lane abutting the north limit of the district	
f) an accessory building shall not be permitted in the district	

237.4 SP.207 District is hereby designated as a commercial district

**SECTION 238**

**SPECIAL DISTRICT 208 (SP.208)**

238.1 For the purpose of this by-law, land use district "Special District 208" is hereby established and may be referred to by the symbol "SP.208".

**PERMITTED USES**

238.2 No person shall within an SP.208 district use any land or erect, alter or use any building or part thereof for any part other than:

- (a) a barber shop, and
- (b) a beauty shop, and
- (c) a dwelling unit
- (d) an office

**REGULATIONS**

238.3 No person shall within an SP.208 District use any land or erect, alter or use any building or part thereof except in accordance with the following regulations:

Type	Requirement
a) minimum floor area per dwelling unit	170 square metres
b) maximum floor area for commercial purposes	65 square metres
c) minimum lot width	9 metres
d) minimum lot depth	30 metres
e) minimum lot area	418 square metres
f) maximum building coverage	15%
g) minimum building setback	
i) side lot line	0.6 metres
ii) rear lot line	12 metres
h) the existing minimum building setback - street line, excepting any driveway, shall be maintained as landscaped open space	
j) maximum number of storeys	2
k) an accessory building shall not be permitted in the district	
l) notwithstanding the provisions of Section 4.2, a minimum of 3 motor vehicle parking spaces shall be provided or maintained within the district	
238.4 SP.208 District is hereby designated as a commercial district	

**SECTION 239**

**SPECIAL DISTRICT 209 (SP.209)**

239.1 For the purpose of this by-law, land use district "Special District 209" is hereby established and may be referred to by the symbol "SP.209".

**PERMITTED USES**

239.2 No person shall within an SP.209 district use any land or erect, alter or use any building or part thereof for any part other than:  
 (a) row dwellings containing not more than 6 dwelling units per building

**REGULATIONS**

239.3 No person shall within an SP.209 District use any land or erect, alter or use any building or part thereof except in accordance with the following regulations:

Type	Requirement
a) minimum lot area per dwelling unit	490 square metres
b) minimum lot width	60 metres
c) minimum lot depth	100 metres
d) minimum building setback i) rear lot line ii) a lot line abutting a rail line right-of-way	9 metres 13 metres
e) maximum number of dwelling units	25 units
f) minimum distance between buildings	6 metres
g) maximum building coverage	35%
h) an accessory building shall be located a minimum of 6 metres from a lot line, and shall have a maximum building coverage of 5%	
j) maximum number of storeys	2
k) maximum coverage by open parking areas, driveways and vehicle movement areas	25%
239.4 SP.209 District is hereby designated as a residential district	

## SECTION 240

### SPECIAL DISTRICT 210 (SP.210)

240.1 For the purpose of this by-law, land use district "Special District 210" is hereby established and may be referred to by the symbol "SP.210".

#### PERMITTED USES

240.2 No person shall within an SP.210 district use any land or erect, alter or use any building or part thereof for any part other than:

- (a) a business management service establishment
- (b) a retail establishment for the sale of
  - i) hardware
  - ii) radio, television and electrical appliances
  - iii) floor covering
  - iv) paint, wallpaper and decorating supplies
  - v) new auto parts and accessories
  - vi) computers, and
  - vii) medical supplies
- (c) an establishment wherein any of the merchandise listed in paragraph (b) is rented or repaired.
- (d) a trade school
- (e) an establishment for training or testing of motor vehicle drivers

#### REGULATIONS

240.3 No person shall within any SP.210 District use any land or erect, alter or use any building or part thereof for any purpose permitted in Section 240.2(b) or 240.2(c) except in accordance with the following regulations:

Type	Requirement
a) total maximum floor area of all permitted uses	20% of the floor area of the building in which they are located, or 6,000 square metres whichever is the lesser
b) maximim floor area per purpose	200 square metres
c) the permitted uses may only be located within the building presently existing on the property or within a new building but not in a separate freestanding building unless the new building is 80% occupied by M1.1 or M1.2 uses or uses listed in Section 240.2(a), (d) or (e)	
d) No person shall within an SP.210 district use any land or erect, alter or use any building or part thereof for any purpose as permitted in 240.2(a), (d) or (e) except in accordance with the regulations for an M.1.1 or M1.2 district	
240.4 SP.210 District is hereby designated as an industrial district	

## SECTION 241

### SPECIAL DISTRICT 211 (SP.211)

241.1 For the propose of this by-law, land use district "Special District 211" is hereby established and may be referred to by the symbol "SP.211".

#### PERMITTED USES

241.2 No person shall within an SP.211 district use any land or erect, alter or use any building or part thereof for any part other than:

- (a) a group dwelling
- (b) an apartment dwelling

#### REGULATIONS

241.3 No person shall within an SP.211 District use any land or erect alter or use any building or part thereof except in accordance with the following regulations:

Type	Requirement
a) minimum lot area	2,750 square metres
b) minimum lot area per dwelling unit	130 square metres
c) maximum number of dwelling units	21
d) minimum lot width	60 metres
e) minimum lot depth	45 metres
f) minimum building setback	
i) side lot line (east)	2.5 metres
ii) side lot line (west)	12 metres
iii) rear lot line	24 metres
g) maximum building coverage	25%
h) maximum number of storeys	2
j) maximum lot coverage by open parking areas, driveways and vehicle movement areas	45%
241.4 SP.211 District is hereby designated as a residential district	

## SECTION 244

### SPECIAL DISTRICT 212 (SP.212)

244.1 For the purpose of this by-law, land use district "Special District 212" is hereby established and may be referred to by the symbol "SP.212".

#### PERMITTED USES

244.2 No person shall within an SP.212 district use any land or erect, alter or use any building or part thereof for any part other than:

- (a) a row dwelling containing not more than 8 dwelling units

#### REGULATIONS

244.3 No person shall within an SP.212 District use any land or erect alter or use any building or part thereof except in accordance with the following regulations:

Type	Requirement
a) minimum lot area	1,850 square metres
b) minimum lot area per dwelling unit	230 square metres
c) minimum lot width	60 metres
d) minimum lot depth	30 metres
e) minimum building setback	
i) side lot line	2.4 metres
ii) rear lot line	7.6 metres
f) maximum building coverage	40%
g) maximum number of storeys	2
h) maximum lot coverage by open parking areas, driveways and vehicle movement areas	25%
j) notwithstanding the provisions of Section 4.2(A), 2 motor vehicle parking spaces shall be provided and maintained per dwelling unit	
k) notwithstanding the provisions of Section 4.8, two driveways may be permitted to serve this district	
244.4 SP.212 District is hereby designated as a residential district	

## SECTION 242

### SPECIAL DISTRICT 213 (SP.213)

242.1 For the purpose of this by-law, land use district "Special District 213" is hereby established and may be referred to by the symbol "SP.213".

#### DEFINITION

242.2 In this section "Tailor Shop" means a shop where clothing is made, altered or repaired but does not include a shop where clothing made off premises is displayed or sold.

#### PERMITTED USES:

242.3 No person shall within an SP.213 district use any land or erect, alter or use any building or part thereof for any purpose other than:

##### GROUP A USES

- (a) a convenience retail store
- (b) a bake shop
- (c) a barber shop
- (d) a beauty shop
- (e) a tailor shop
- (f) a photographic supplies store
- (g) a flower shop
- (h) a pet and pet supplies store
- (i) a retail establishment for the sale of books, magazines and stationary
- (j) a dry cleaning establishment

##### GROUP B USES

- (k) a drug store
- (l) a shoe store
- (m) a clothing store
- (n) a sporting goods store
- (o) a dry goods store
- (p) a retail establishment for the sale of beer, wine and liquor

##### GROUP C USES

- (q) a food store
- (r) an office
- (s) a clinic

##### GROUP D USES

- (v) a service station
- (w) an animal hospital
- (x) an office of a veterinarian
- (y) a restaurant
- (z) a retail establishment for the sale of:
  - i) building products and contractors supplies
  - ii) farm supplies, grain and feed
  - iii) motor vehicle parts
  - iv) hardware
  - v) radios, televisions, electronic components and home appliances as well as the rental thereof
  - vi) paint, wallpaper and decorating supplies
  - vii) furniture
- (y) a bank, financial institution or loan company
- (z) a place of amusement
- (aa) a place of entertainment
- (ab) a gymnasium and health club

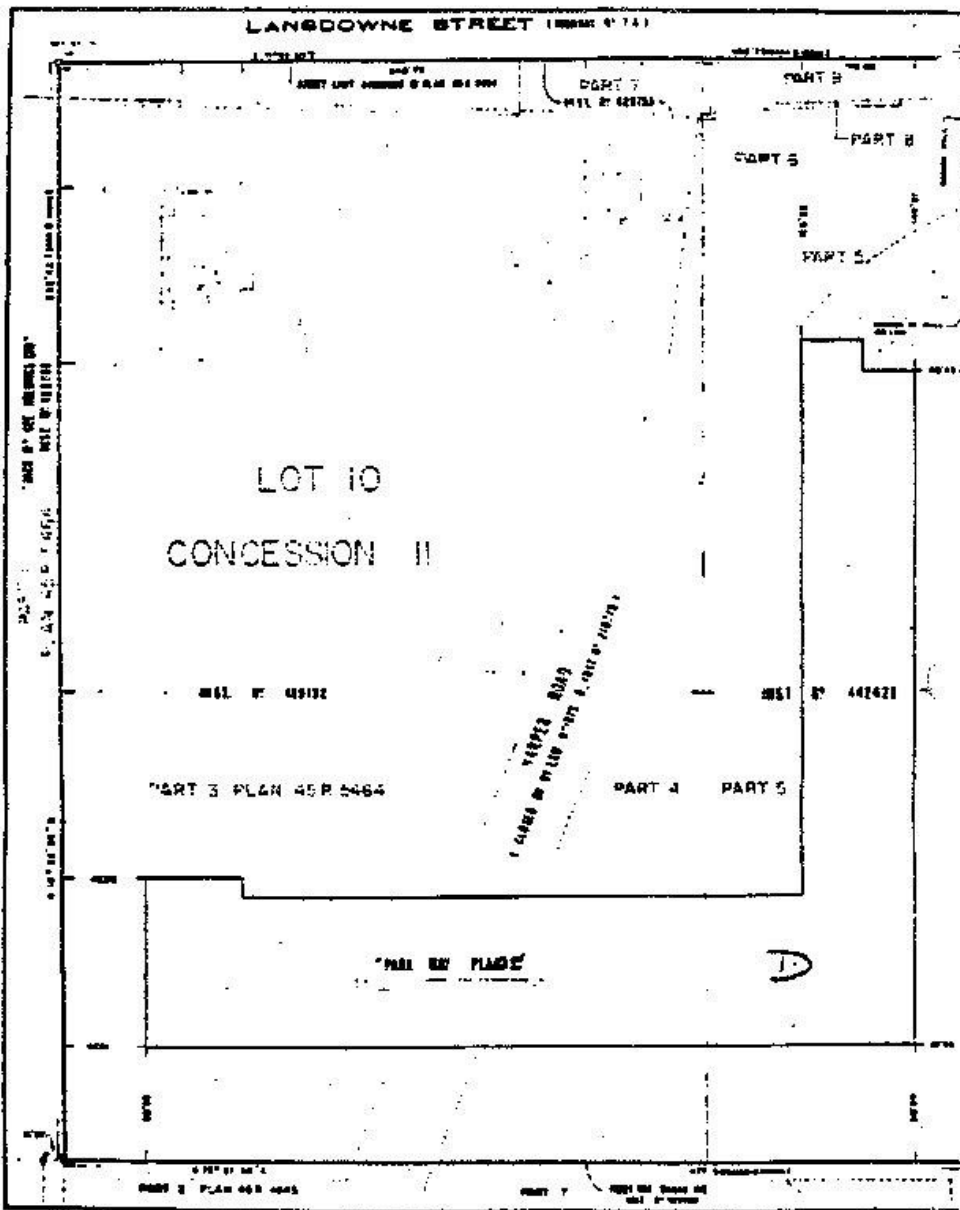


**REGULATIONS:**

242.4 No person shall within an SP.213 district use any land or erect, alter or use any building or part thereof except in accordance with the following regulations:

Type	Requirement
a) maximum floor area for all permitted uses within the district	7,895 square metres
b) maximum floor area for all uses in Group A, Group B and Group C	4,645 square metres
c) maximum floor area for all uses in Group D	7,895 square metres
d) maximum building floor area shall not exceed the total of the horizontal areas of Building Areas - A, B and C on the plan attached hereto as Schedule "A" to this section and Building Area D on the plan attached hereto as Schedule "B" to this section	
e) Group A, Group B, Group C(q) and Group D(x) uses shall not be located on the lower level (Building Area D on Schedule B) except for storage space as may be required in connection with such uses. No retail sales, display or customer service area for these uses shall be permitted on the said lower level	
f) minimum lot width	61 metres
g) minimum lot depth	46 metres
h) minimum building setback - side lot line or rear lot line	9 metres or the height of the building, whichever is the greater
j) minimum landscaped open space	15% of the area of the lot
k) maximum number of floor levels	2
l) landscaped open space including a planting strip, having a minimum width of 9 metres to be provided and maintained along a lot line abutting a residential or development district	
m) landscaped open space of a minimum of 1.5 metres to be provided and maintained along all other lot lines provided such open space may be interrupted by driveways	
n) up to 50% of the area between the building and the street line may be used for the open display of merchandise	
o) additional regulations for Group A uses: i) maximum number of establishments for each use in Group A ii) maximum floor area for each establishment in Group A	1 185.8 square metres
p) additional regulations for Group B uses: i) maximum floor area for each use in Group B	650 square metres
q) additional regulations for Group C uses: i) maximum floor area for each use in Group C	1,858 square metres
242.5 SP.213 is hereby designated as a commercial district	





SCHEDULE - G. TO  
 -LAW 1986-169  
 USED THE 6th DAY  
 OF October 1996  
 [Signature]

Schedule B

BUILDING AREA D LOWER LEVEL

BUILDING AREA [unclear]

## SECTION 243

### SPECIAL DISTRICT 214 (SP.214)

243.1 For the purpose of this by-law, land use district "Special District 214" is hereby established and may be referred to by the symbol "SP.214".

#### PERMITTED USES:

243.2 No person shall within an SP.214 district use any land or erect, alter or use any building or part thereof for any purpose other than:

- (a) an apartment dwelling containing not more than 12 dwelling units

#### REGULATIONS:

243.3 No person shall within an SP.214 district use any land or erect, alter or use any building or part thereof except in accordance with the following regulations:

Type	Requirement
a) minimum lot area	2,600 square metres
b) minimum lot width	40 metres
c) minimum lot depth	40 metres
d) maximum number of storeys	2
e) for purposes of this district the street line shall be the most westerly lot line	
f) except as provided herein, the regulations of Section 10.2 shall apply with the exception of Section 10.2(c)	
g) notwithstanding the provisions of Section 6.5, the lot may be used if a permanent right-of-way for access to Armour Road is provided over the northerly 7.3 metres of the property described as Part of lots 5 and 6 Registered Plan 6G, 832 Armour Road	
243.4 SP.214 District is hereby designated as a residential district	

**SECTION 245**

**SPECIAL DISTRICT 215 (SP.215)**

245.1 For the purpose of this by-law, land use district "Special District 215" is hereby established and may be referred to by the symbol "SP.215".

**PERMITTED USES**

245.2 No person shall within an SP.215 district use any land or erect, alter or use any building or part thereof for any purpose other than:

- (a) a bank, financial institution or loan company
- (b) an office
- (c) a clinic
- (d) a barber shop
- (e) a beauty shop
- (f) a dressmaker or tailor shop
- (g) a shoe shine parlour or a shoe repair shop
- (h) a dry-cleaning establishment - Class 2
- (i) a beer, wine or liquor store
- (j) a studio or craft workshop
- (k) a library, museum or art gallery
- (l) a restaurant
- (m) a service station
- (n) a retail establishment including a convenience retail store, drug store or bakeshop for the sale of:
  - i) food
  - ii) optical supplies
  - iii) books, magazines and stationery
  - iv) smoking supplies
  - v) art supplies
  - vi) floral and horticultural products
  - vii) photographic supplies
  - viii) paint, wallpaper and decorating supplies
  - ix) sporting goods (excluding boats, snowmobiles, motorcycles, motors)
  - x) pharmaceuticals
  - xi) jewellery
  - xii) radio, television, electrical and home appliances
  - xiii) clothing, office supplies, home furnishings
  - xiv) hardware
- (o) an establishment wherein any of the foregoing merchandise of Section (n) is rented or repaired.
- (p) a sub-post office
- (q) a gymnasium or health club
- (r) a veterinary office (excluding boarding, cremation or kennel use)

**REGULATIONS**

245.3 No person shall within an SP.215 District use any land or erect alter or use any building or part thereof except in accordance with the following regulations:

<b>Type</b>	<b>Requirement</b>
a) minimum lot width	30 metres
b) minimum lot depth	46 metres
c) maximum building floor area	1,720 square metres
d) maximum floor area per commercial use	280 square metres
e) maximum number of storeys	2
f) minimum building setback i) side lot line ii) rear lot line	9.14 metres 3.65 metres
g) landscaped open space of a minimum width of 1.5 metres shall be provided and maintained along all lot lines provided such open space may be interrupted by driveways	
h) landscaped open space of 650 square metres shall be provided on the lot	
245.4 SP.215 District is hereby designated as a commercial district	

## SECTION 247

### SPECIAL DISTRICT 217 (SP.217)

247.1 For the purpose of this by-law, land use district "Special District 217" is hereby established and may be referred to by the symbol "SP.217".

#### PERMITTED USES

247.2 No person shall within an SP.217 district use any land or erect, alter or use any building or part thereof for any part other than:

- (a) a service station
- (b) a business management service establishment
- (c) a retail establishment for the sale of:
  - i) furniture
  - ii) hardware
  - iii) radio, television, electrical and home appliances
  - iv) paint, wallpaper and decorating supplies
  - v) motor vehicles
  - vi) auto parts and accessories
  - vii) floor and wall coverings
  - viii) medical equipment
- (d) a restaurant
- (e) a barber shop
- (f) a beauty shop
- (g) a convenience retail store
- (h) a video rental outlet
- (j) a retail establishment for the sale of food
- (k) an office
- (l) a veterinary office or clinic
- (m) a place of entertainment, excluding a video arcade
- (n) a health club or gymnasium
- (o) a muffler, auto glass or other motor vehicle repair establishment
- (p) a car wash
- (q) an auto repair shop
- (r) a bake shop
- (s) a printing shop
- (t) a bank

**REGULATIONS**

247.3 No person shall within an SP.217 district use any land or erect alter or use any building or part thereof for any purpose permitted in Section 247.2 except in accordance with the following regulations:

<b>Type</b>	<b>Requirement</b>
a) maximum building floor area of all buildings erected within the lot	2,320 square metres
b) minimum lot width	150 metres
c) minimum lot area	1.2 hectares
d) maximum number of storeys	2
e) minimum building setback - side lot line or rear lot line	3 metres or the height of the building whichever is the greater
f) landscaped open space of a minimum width of 1.5 metres shall be provided and maintained along all lot lines provided that such open space may be interrupted by driveways and railways	
g) up to 50% of the area between a building and a street line may be used for the open display of merchandise	
h) maximum floor area per commercial purpose for uses (e) to (k) inclusive	235 square metres
j) total maximum floor area for uses (e) to (k) inclusive	735 square metres
247.4 SP.217 District is hereby designated as a commercial district	



## SECTION 248

### SPECIAL DISTRICT 218 (SP.218)

248.1 For the purpose of this by-law, land use district "Special District 218" is hereby established and may be referred to by the symbol "SP.218".

#### PERMITTED USES

248.2 No person shall within an SP.218 district use any land or erect, alter or use any building or part thereof for any part other than:

- (a) a one-dentist dental office

#### REGULATIONS

248.3 No person shall within an SP.218 district use any land or erect alter or use any building or part thereof except in accordance with the following regulations:

Type	Requirement
a) minimum lot area	670 square metres
b) minimum building setback - side lot line	5.6 metres
c) maximum lot coverage by open parking areas, driveways and vehicle movement areas	45%
d) notwithstanding the provisions of Section 4, motor vehicle parking may be permitted within the areas set forth on Schedule "A" hereto and designated as asphalt parking for 6 vehicles	
e) at all times when the subject property is utilized as a one-dentist office, a closed board privacy fence shall be kept and maintained, landscaped open space and 1.5 metre wide evergreen hedge shall be kept and maintained as set forth on Schedule "A" hereto	
248.4 SP.218 District is hereby designated as a commercial district	



## SECTION 249

### SPECIAL DISTRICT 219 (SP.219)

249.1 For the purpose of this by-law, land use district "Special District 219" is hereby established and may be referred to by the symbol "SP.219".

#### PERMITTED USES

249.2 No person shall within an SP.219 district use any land or erect, alter or use any building or part thereof for any purpose other than:

- (a) an apartment dwelling containing not more than 30 dwelling units.

#### REGULATIONS

249.3 No person shall within an SP.219 district use any land or erect alter or use any building or part thereof except in accordance with the following regulations:

Type	Requirement
a) minimum lot area	1,980 square metres
b) minimum lot area per dwelling unit	185 square metres
c) minimum lot width	30 metres
d) minimum lot depth	60 metres
e) minimum building setback i) side lot line ii) rear lot line	3 metres or one-half the height of the building, whichever is the greater 9 metres or the height of the building whichever is the greater
f) maximum building coverage	30%
g) maximum number of storeys	3
h) notwithstanding the provisions of Section 4.2(A), motor vehicle parking shall be provided at a rate of 1.4 spaces per dwelling unit	
j) notwithstanding the provisions of Section 4.3.2(b), a driveway may be located within 1.5 metres of a side lot line	
k) maximum lot coverage by open parking areas, driveways and vehicle movement areas	30%
249.4 SP.219 District is hereby designated as a residential district	

## SECTION 250

### SPECIAL DISTRICT 220 (SP.220)

250.1 For the purpose of this by-law, land use district "Special District 220" is hereby established and may be referred to by the symbol "SP.220".

#### PERMITTED USES

250.2 No person shall within an SP.220 district use any land or erect, alter or use any building or part thereof for any purpose other than:

- (a) a service station
- (b) an animal hospital or office of a veterinarian
- (c) a church
- (d) a restaurant
- (e) a dry cleaning establishment - Class 2
- (f) a funeral parlour
- (g) a retail establishment for the sale of:
  - i) building products and contractor supplies
  - ii) motor vehicles
  - iii) motor vehicle parts
  - iv) boats, trailers, travel trailers and mobile homes
- (h) a nursery or green house
- (i) a public garage
- (j) an auto body repair establishment
- (k) a muffler, auto glass, or other motor vehicle repair establishment
- (l) an establishment wherein any of the merchandise listed in paragraph (g) is rented or repaired

#### REGULATIONS

250.3 No person shall within an SP.220 district use any land or erect, alter or use any building or part thereof except in accordance with the following regulations;

Type	Requirement
a) minimum lot width	60 metres
b) minimum lot depth	90 metres
c) minimum building setback <ul style="list-style-type: none"> <li>i) side lot line</li> <li>ii) rear lot line</li> </ul>	9 metres 18 metres
d) maximum building coverage	20%
e) maximum building height	9 metres
f) landscaped open space shall be provided and maintained along the lot line in accordance with the following: <ul style="list-style-type: none"> <li>i) rear lot line</li> <li>ii) side lot line</li> <li>iii) front lot line</li> </ul>	9 metres 3 metres 6 metres
g) a planting strip, privacy fencing and a sodded berm shall be constructed within the landscaped open space along the rear lot line	
h) an enclosed accessory building or waste receptacle or garbage storage area may be erected or located within the district, other than within any required landscaped	

<p>open space provided the following regulations are complied with:</p> <ul style="list-style-type: none"> <li>i) minimum building setback</li> <li>ii) maximum building height</li> <li>iii) maximum building or site area</li> <li>iv) maximum buildings</li> </ul>	<p>12 metres 4 metres 30 square metres 1</p>
<p>j) no outside storage shall be permitted for a retail establishment for the sale of building products and contractor supplies and for an establishment for equipment or machinery rental</p>	
<p>250.4 SP.220 District is hereby designated as a commercial district</p>	

**SECTION 251****SPECIAL DISTRICT 221 (SP.221)**

251.1 For the purpose of this by-law, land use district "Special District 221" is hereby established and may be referred to by the symbol "SP.221".

**PERMITTED USES**

251.2 No person shall within an SP.221 district use any land or erect, alter or use any building or part thereof for any purpose other than:

- (a) an apartment dwelling

**REGULATIONS**

251.3 No person shall within an SP.221 district use any land or erect, alter or use any building or part thereof except in accordance with the following regulations;

<b>Type</b>	<b>Requirement</b>
a) minimum lot area	3,000 square metres
b) minimum lot area per dwelling unit	540 square metres
c) maximum number of units within district	24
d) minimum lot width	10 metres
e) minimum building setback	
i) side lot line or rear lot line	3 metres
ii) lot line abutting a rail line right-of-way	15 metres
f) maximum building coverage	25%
g) maximum lot coverage by open parking areas, driveways and vehicle movement areas	20%
h) maximum building height	1 storey
j) notwithstanding the provisions of Section 4.3.2(a), driveway and motor vehicle parking spaces may be permitted along the side lot line	
k) notwithstanding section 251.3 (e) the minimum setback for any building from a railway right-of-way	15 metres
251.4 SP.221 District is hereby designated as a residential district	

## SECTION 252

### SPECIAL DISTRICT 222 (SP.222)

252.1 For the purpose of this by-law, land use district "Special District 222" is hereby established and may be referred to by the symbol "SP.222".

#### PERMITTED USES

252.2 No person shall within an SP.222 district use any land or erect, alter or use any building or part thereof for any purpose other than:

- (a) a home for children as defined under the Childrens Residential Services Act, R.S.O. 1980, Chapter 71, except for a child referred from a correctional institution

#### REGULATIONS

252.3 No person shall within an SP.222 district use any land or erect, alter or use any building or part thereof except in accordance with the following regulations;

Type	Requirement
a) the erection or alteration of any buildings shall be in accordance with the regulations of Section 7, excepting as follows: i) minimum lot area ii) minimum lot width	275 square metres 9 metres
b) maximum number of dwellings	1
c) maximum number of children permitted to reside in dwelling	8
d) staff in attendance shall be considered an accessory use thereto	
e) notwithstanding the provisions of Section 4.2, two motor vehicle parking spaces shall be provided and maintained within the district	
252.4 SP.222 District is hereby designated as a residential district	

## SECTION 253

### SPECIAL DISTRICT 223 (SP.223)

253.1 For the purpose of this by-law, land use district "Special District 223" is hereby established and may be referred to by the symbol "SP.223".

#### PERMITTED USES

253.2 No person shall within an SP.223 district use any land or erect, alter or use any building or part thereof for any purpose other than:

- (a) an apartment dwelling in which each dwelling unit does not have access to a common corridor or entrance

#### REGULATIONS

253.3 No person shall within an SP.223 district use any land or erect, alter or use any building or part thereof except in accordance with the following regulations;

Type	Requirement
a) minimum lot area i) Area "A" ii) Area "B"	670 square metres 1,800 square metres
b) maximum number of dwelling units i) Area "A" ii) Area "B"	4 4
c) maximum number of apartment dwellings	1
d) maximum number of storeys - main building	2
e) a one storey accessory building shall be permitted within the district	
f) any such main or accessory building shall be erected wholly within the areas designated "Main or Accessory Building Area" on the plan attached hereto as Schedule "X" to this section	
g) the required motor vehicle parking spaces and driveway access thereto shall be located wholly within the areas designated "Driveway and Parking Area" on the said plan	
h) landscaped open space shall be provided and maintained within the areas designated "Landscaped Area" on the said plan	
253.4 SP.223 District is hereby designated as a residential district	



SCHEDULE - X TO SECTION - 253

SCHEDULE - A TO  
BY-LAW 1987-104  
PASSED THE 19th DAY  
OF May 1987

MAYOR

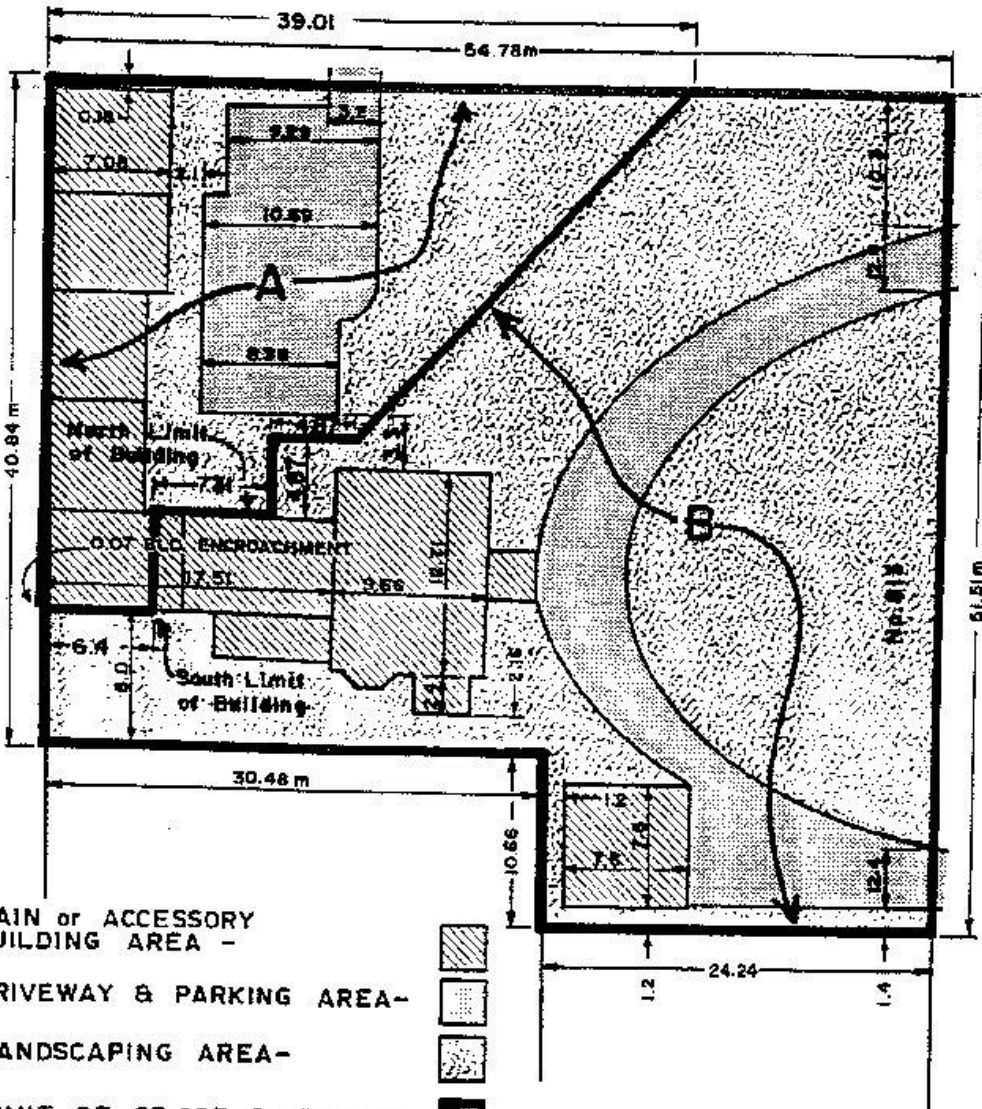
CLERK



Argyle Street

George Street

Water Street



MAIN or ACCESSORY BUILDING AREA -

DRIVEWAY & PARKING AREA -

LANDSCAPING AREA -

LIMIT OF SP. 223 DISTRICT -

AREA - A



0 feet 30'

0 Metres 9.14

Z-930

## SECTION 254

### SPECIAL DISTRICT 224 (SP.224)

254.1 For the purpose of this by-law, land use district "Special District 224" is hereby established and may be referred to by the symbol "SP.224".

#### PERMITTED USES

254.2 No person shall within an SP.224 district use any land or erect, alter or use any building or part thereof for any purpose other than:

- (a) a three unit dwelling
- (b) an apartment dwelling

#### REGULATIONS

254.3 No person shall within an SP.224 district use any land or erect, alter or use any building or part thereof except in accordance with the following regulations;

Type	Requirement
a) minimum lot area	270 square metres
b) minimum lot area per dwelling unit	92 square metres
c) minimum lot width	10 metres
d) minimum lot depth	30 metres
e) maximum building coverage	70%
f) maximum number of storeys	2
g) maximum lot coverage by open parking areas, driveways and vehicle movement area	30%
h) minimum landscaped open space	20%
j) notwithstanding the provisions of Section 4.2(A), a minimum of 1 motor vehicle parking space per dwelling unit shall be provided and maintained within the district	
k) an accessory building, waste receptacle or garbage storage area may be erected or located within the district, providing the following regulations are complied with: <ul style="list-style-type: none"><li>i) minimum building setback</li><li>ii) minimum distance to the rear of the main building</li></ul>	0.6 metres 1.2 metres
254.4 SP.224 District is hereby designated as a residential district	

## SECTION 255

### SPECIAL DISTRICT 225 (SP.225)

255.1 For the purpose of this by-law, land use district "Special District 225" is hereby established and may be referred to by the symbol "SP.225"

#### PERMITTED USES:

255.2 No person shall within an SP.225 district use any land or erect, alter or use any building or part thereof for any purpose other than:

- (a) a single unit dwelling
- (b) a two unit dwelling

#### REGULATIONS:

255.3 No person shall within an SP.225 district use any land or erect alter or use any building or part thereof except in accordance with the following regulations:

Type	Requirement
a) minimum lot area	310 square metres
b) minimum lot area per dwelling unit	155 square metres
c) minimum lot width	10 metres
d) minimum lot width per dwelling unit	5 metres
e) minimum lot depth	20 metres
f) minimum building setback	
i) side lot line	1 metre
ii) rear lot line	1.7 metres
g) maximum building coverage	51%
h) maximum number of storeys	1
j) minimum floor area per dwelling unit	70 square metres
k) maximum area covered by parking and driveway	25%
255.4 SP.225 District is hereby designated as a residential district	

## SECTION 256

### SPECIAL DISTRICT 226 (SP.226)

256.1 For the purpose of this by-law, land use district "Special District 226" is hereby established and may be referred to by the symbol "SP.226".

#### PERMITTED USES:

256.2 No person shall within an SP.226 District use any land or erect, alter or use any building or part thereof for any reason other than:

- (a) a single unit dwelling

#### REGULATIONS:

256.3 No person shall within an SP.226 District use any land or erect, alter or use any building of part thereof except in accordance with the following regulations:

Type	Requirement
a) minimum lot area	460 square metres
b) minimum lot width	15.2 metres
c) minimum lot depth	30.4 metres
d) minimum building setback	
i) side lot line	1.2 metres
ii) rear lot line	7.6 metres
e) maximum building coverage	40%
f) maximum number of storeys	2
g) minimum floor area	130 square metres
h) maximum lot coverage by open parking areas, driveways and vehicle movement areas	25%
j) all buildings including accessory structures shall be erected above the top of bank as shown on the Plan attached hereto as Schedule "A" to this section	
k) all swimming pools, television receiving dishes, tennis courts or similar structures shall be constructed or erected above the top of tank as shown on the Plan attached hereto as Schedule "A" to this section	
256.4 SP.226 District is hereby designated as a residential district	

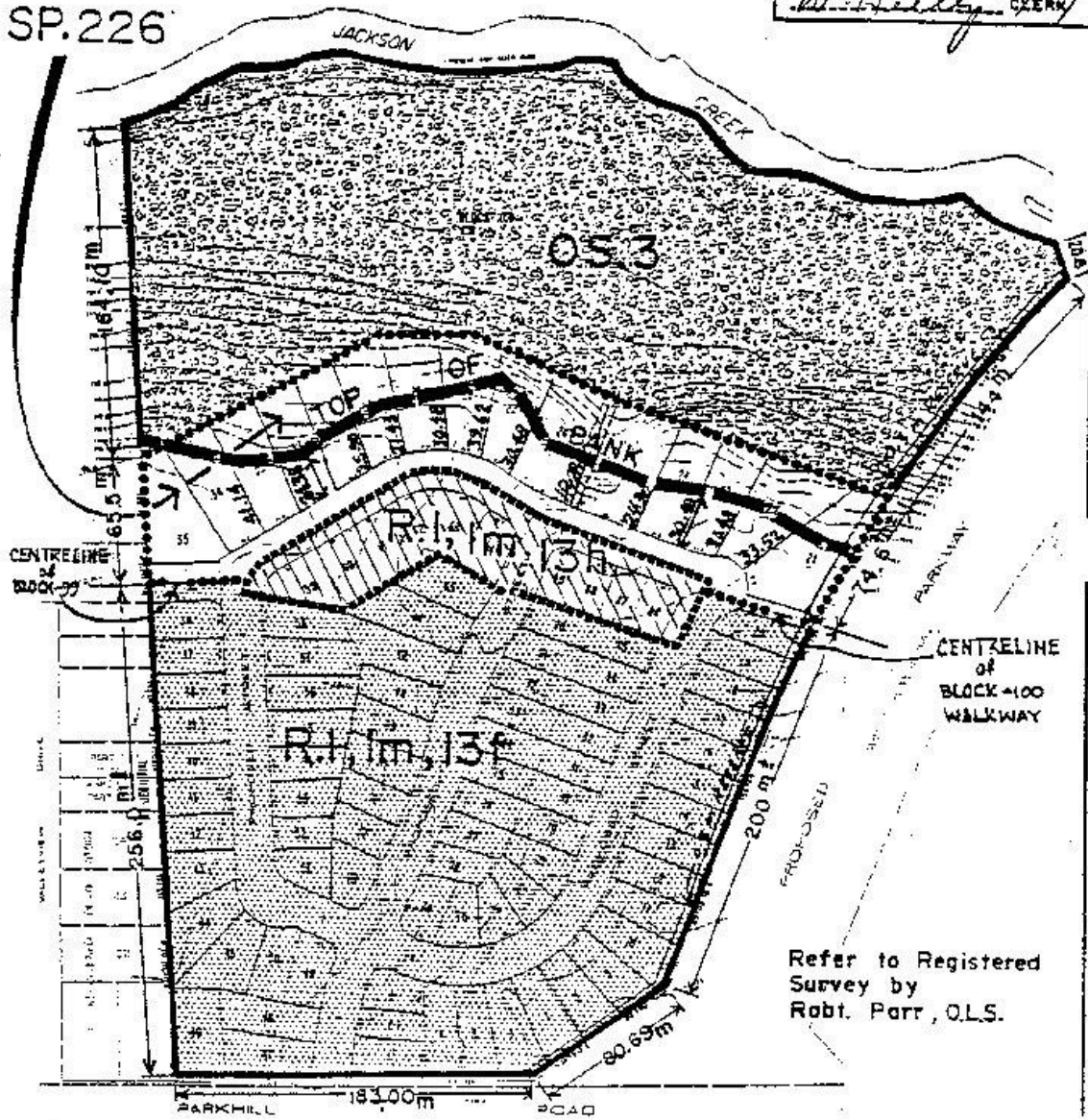
CHANGE PROPERTY ZONED ~D.1  
TO ZONES SHOWN BELOW.



SCHEDULE -- TO  
BY-LAW 1986-140  
PASSED THE 13th DAY  
OF August 1986.

*D. Decker* MAYOR  
*W. Healey* COUNTY CLERK

SP.226



Refer to Registered  
Survey by  
Robt. Parr, O.L.S.

N.T.S.

SB-162

## SECTION 257

### SPECIAL DISTRICT 227 (SP.227)

257.1 For the purpose of this by-law, land use district "Special District 227" is hereby established and may be referred to by the symbol "SP.227".

#### DEFINITIONS:

257.2 No person shall within an SP.227 District use any land or erect, alter or use any building or part thereof for any purpose other than:

- (a) an apartment dwelling
- (c) a barber shop
- (c) a beauty shop
- (d) a dry-cleaning establishment - Class 2
- (e) a drug store
- (f) a sub-post office
- (g) a restaurant
- (h) a convenience retail store
- (j) a clinic
- (k) an office
- (l) a florist shop
- (m) a studio or craft workshop
- (n) an art school, music school, dance school or fine art school

#### REGULATIONS:

257.4 No person shall within an SP.227 District use any land or erect, alter or use any building of part thereof except in accordance with the following regulations:

Type	Requirement
a) minimum lot area	3,050 square metres
b) maximum number of dwelling units	102
c) dwelling units shall be located on the second or higher floor	
d) the permitted commercial uses shall be located exclusively on the first floor thereof	
e) notwithstanding the provisions of Section 4.2, a minimum of 27 motor vehicle parking spaces shall be provided and maintained within the district	
f) maximum number of storeys	7
g) all dwelling units shall be occupied predominantly by persons 55 years of age and over	
h) minimum floor area per dwelling unit	46.4 square metres
j) maximum building floor area ratio	2.5
k) any such building shall be erected wholly within the area designated "Building Area" on the plan attached hereto as Schedule "X" to this section and Schedule "A" to this by-law	
l) the required motor vehicle parking spaces, driveway access thereto and loading space shall be located wholly	

within the area designated "Driveway and Parking Area" on the plan attached hereto	
m) landscaped open space shall be provided and maintained within the areas designated "Landscaped Area" on the plan attached hereto	
257.5 SP.227 District is hereby designated as a residential district	





## SECTION 258

### SPECIAL DISTRICT 228 (SP.228)

258.1 For the purpose of this by-law, land use district "Special District 228" is hereby established and may be referred to by the symbol "SP.228".

#### PERMITTED USES:

258.2 No person shall within an SP.228 District use any land or erect, alter or use any building or part thereof for any reason other than:




- (a) a take-out restaurant
- (b) a convenience store
- (c) a dwelling unit

#### REGULATIONS:

258.3 No person shall within an SP.228 District use any land or erect, alter or use any building of part thereof except in accordance with the following regulations:

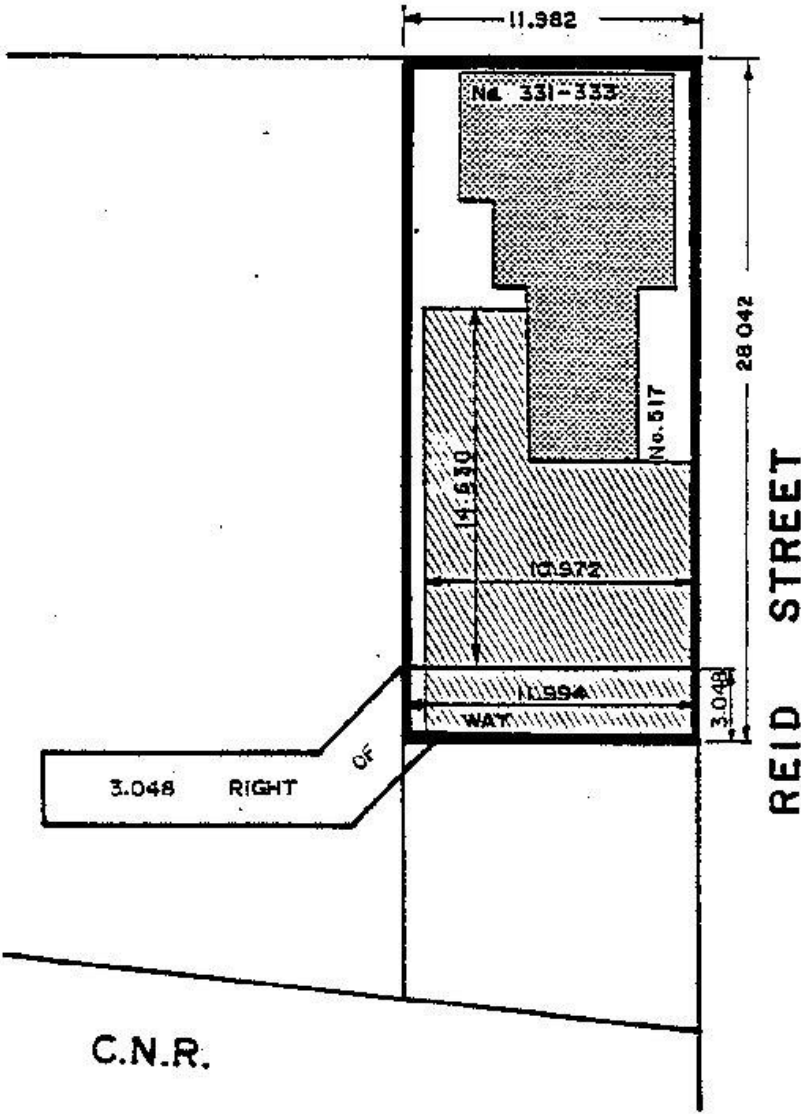
Type	Requirement
a) maximum floor area for a take-out restaurant	55 square metres
b) maximum floor area for a convenience store	74 square metres
c) maximum number of dwelling units	2
d) the required motor vehicle parking spaces and driveway access thereto shall be located wholly within the areas designated "Parking and Driveway Area" on the plan attached hereto as Schedule "A" to this by-law	
e) any building shall be erected and maintained wholly within the areas designated "Building Area" on the plan attached hereto as Schedule "A" to this by-law	
f) minimum floor area for a dwelling unit	27 square metres
258.4 SP.228 District is hereby designated as a residential district	

SCHEDULE 'X' TO SECTION-25:

-  LIMIT OF SP. DISTRICT
-  BUILDING AREA
-  PARKING & DRIVEWAY AREA

SCHEDULE - A TO  
 BY-LAW 1970-194  
 PASSED THE 300 DAY  
 OF A. ENACT 1970  
*J. DeBorja* MAYOR  
*[Signature]* CLERK

Mc DONNEL STREET



0 Metres 30.48

Z-901

## SECTION 259

### SPECIAL DISTRICT 229 (SP.229)

259.1 For the purpose of this by-law, land use district "Special District 229" is hereby established and may be referred to by the symbol "SP.229".

#### PERMITTED USES:

259.2 No person within a SP.229 District shall use any land or erect, alter or use any building or part thereof for any purpose other than:

- (a) an establishment for retail sale and service of computers, electronics and/or appliances
- (b) a laboratory or research and development establishment
- (c) a restaurant
- (d) personal service establishment
- (e) a florist shop
- (f) a bake shop
- (g) a drug store
- (h) a retail establishment for the sale of:
  - i) souvenirs
  - ii) antiques
  - iii) medical supplies
  - iv) optical supplies
  - v) pharmaceuticals
- (i) an office
- (j) a clinic
- (k) dwelling unit
- (l) a nursing home
- (m) a home for the aged
- (n) a day nursery
- (o) a library, art gallery or museum
- (p) an art school, music school, dance school or fine arts school
- (q) a school
- (r) a theatre
- (s) a place of assembly
- (t) a gymnasium or health club
- (u) an auditorium
- (v) a studio or craft workshop
- (w) a cinema
- (x) a parking lot

#### REGULATIONS:

259.3 No person shall within an SP.229 District use any land or erect, alter or use any building or part thereof except in accordance with the following regulations:

Regulation	Requirement
a) minimum lot area	1.2 hectares
b) maximum building floor area <ul style="list-style-type: none"><li>i) For existing buildings (as of October 31, 2019)</li><li>ii) For buildings constructed after October 31, 2019</li></ul>	i) 21,113 sq.m. ii) 45,000 sq.m.
c) maximum lot coverage	45%

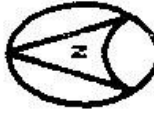
d) maximum lot coverage by open parking areas, driveway and vehicle movement areas	35%
e) minimum landscaped open space	20%
f) minimum building setback from a lot line	4 m
g) minimum setback for an underground parking structure	4 m
h) Permitted Elevation i) for any building existing as of October 31, 2019 ii) for any existing building (as of October 31, 2019) with rooftop solar panels iii) for any building constructed after October 31, 2019 iv) for solar panels on buildings constructed after October 31, 2019	i) 241 mASL ii) 244 mASL iii) 254.05 mASL iv) 257.04 mASL
i) maximum height for an accessory building or structure	5.0m
j) Notwithstanding the provisions of Section 4.2(A), a minimum of 1 space per dwelling unit shall be provided and maintained on the property	
k) Notwithstanding the provisions of Section 4.2(B), a minimum of 1 parking space per 34m <sup>2</sup> of Leasable Area of permitted commercial uses, shall be provided and maintained on the property	
l) Areas zoned SP.229 are to be treated as one lot for the purposes of zoning regulations, despite future land division, part lot control exemption or plan of condominium.	

259.4 SP.229 District is hereby designated a commercial district

SCHEDULE 'X' TO SECTION - 259

SCHEDULE - A TO BY-LAW 1985 - 123 PASSED THE 15 DAY OF June, 1987

(Sgd.) S. Sutherland MAYOR  
(Sgd.) S. Hendry CLERK



Limit of SP. District -

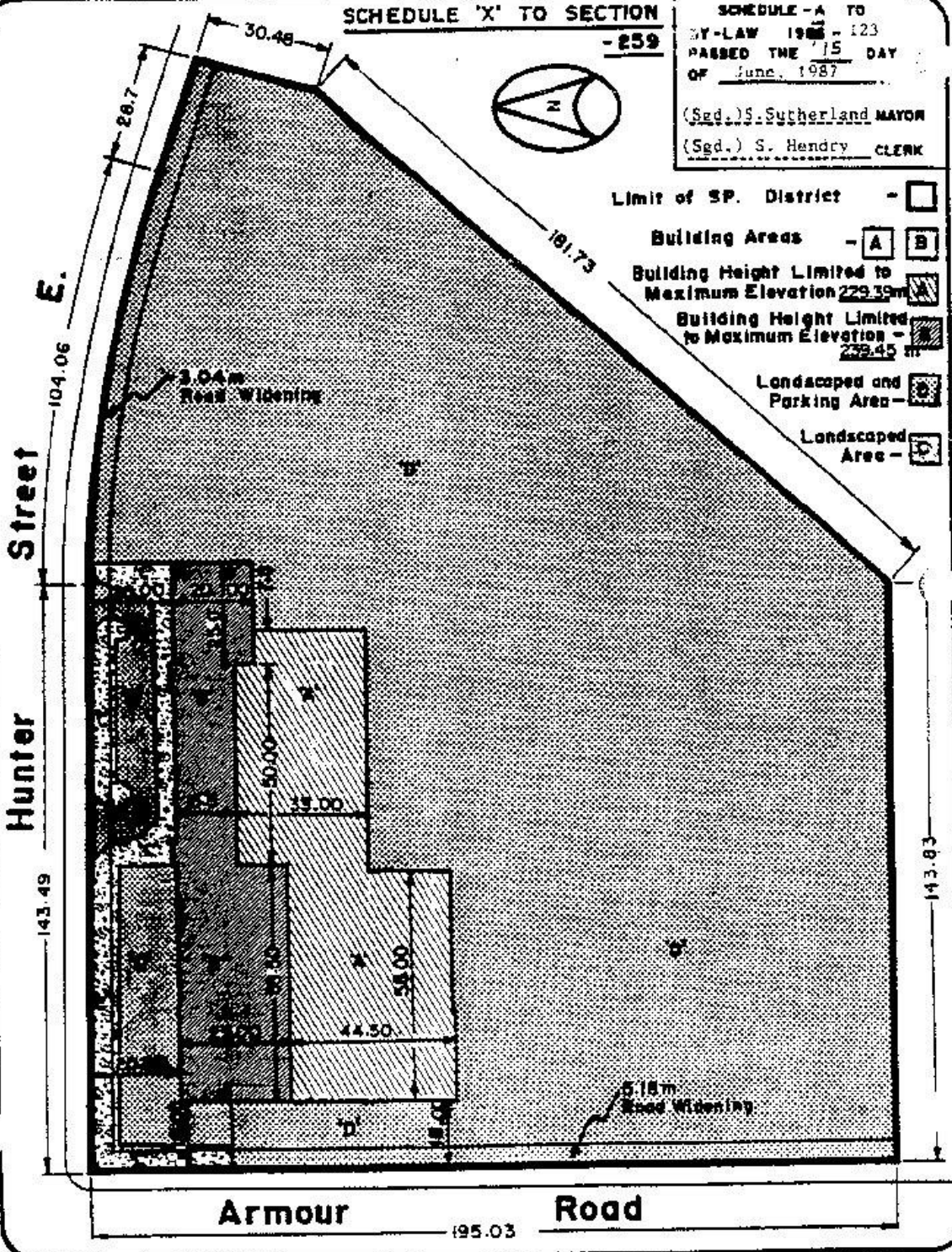
Building Areas -  A  B

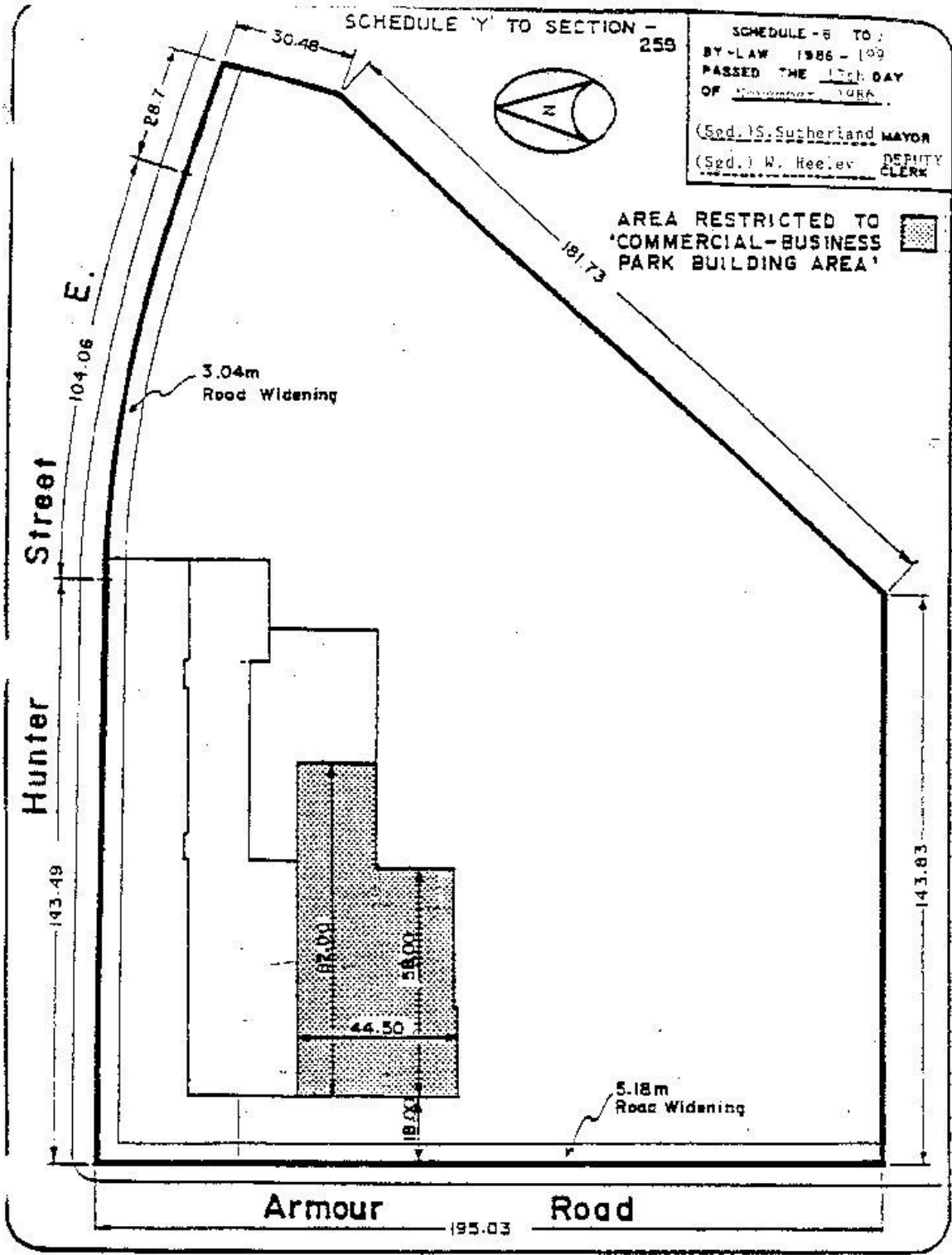
Building Height Limited to Maximum Elevation 229.39m

Building Height Limited to Maximum Elevation - 229.45m

Landscaped and Parking Area -

Landscaped Area -





**SECTION 260 (deleted)**

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**SECTION 261****SPECIAL DISTRICT (SP.231)**

261.1 For the purpose of this by-law, land use district "Special District " is hereby established and may be referred to as the symbol "SP.231".

**PERMITTED USES**

261.2 No person shall within an SP.231 district use any land or erect, alter or use any building or part thereof for any purpose other than:

- a) a multi-suite residence
- b) a multi-unit building
- c) a day nursery

**REGULATIONS**

261.3 No person shall within an SP.231 district use any land or erect, alter or use any building or part thereof except in accordance with the following regulations:

a)	minimum lot area per dwelling unit	133 square metres
b)	minimum lot area	1.4 hectares
c)	maximum building coverage on lot exclusive of detached parking structure	34%
d)	maximum lot coverage by surface parking lots and driveways	25%
e)	minimum landscaped open space	45%
f)	minimum building setback	
	i) west lot line	6 metres or 1.5 metres per storey, whichever is greater 9 metres
	ii) north lot line	
g)	maximum building height	
	i) within 60m of the westerly property line	1 storey
	ii) balance of the property	4 storeys
h)	maximum floor area for day nursery	279 sq. m
j)	a minimum width of landscaped open space is to be provided and maintained in accordance with the following:	
	i) along north lot line	9 metres:
	ii) along Glenforest Boulevard	5 metres
	iii) along Sherbrooke Street	5 metres
	iv) along west lot line	6 metres
k)	notwithstanding the provisions of Section 4.2, motor vehicle spaces shall be provided and maintained as follows:	
	i) 1 space per dwelling unit	
	ii) 0.75 spaces per residential suite	

261.4 SP.231 is hereby designated as a residential district.



## SECTION 262

### SPECIAL DISTRICT 232 (SP.232)

262.1 For the purpose of this by-law, land use district "Special District 232" is hereby established and may be referred to by the symbol "SP.232".

**PERMITTED USES:**

262.2 No person shall within an SP.232 District use any land or erect, alter or use any building or part thereof for any reason other than:

- (a) a professional office
- (b) a dwelling unit

**REGULATIONS:**

262.3 No person shall within an SP.232 District use any land or erect, alter or use any building of part thereof except in accordance with the following regulations:

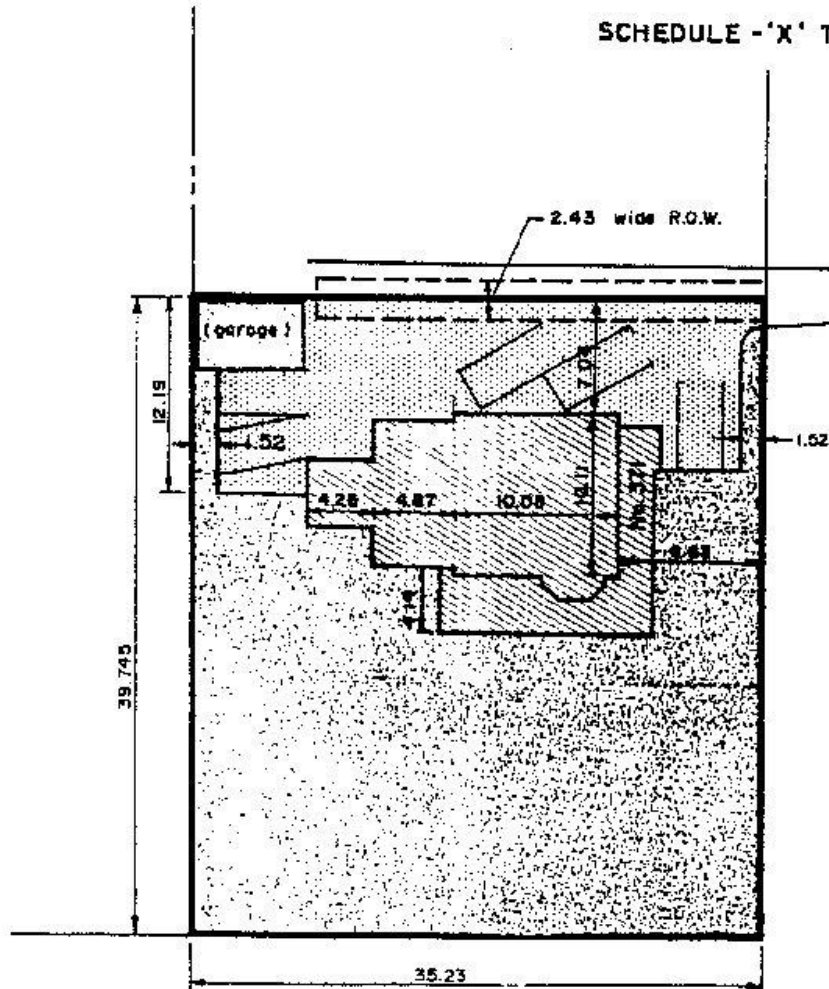
Type	Requirement
a) minimum lot width	30 metres
b) minimum lot depth	30 metres
c) minimum lot area	930 square metres
d) minimum floor area per dwelling unit	55 square metres
e) maximum number of storeys	2
f) such building or part thereof shall be erected wholly within the area designated "building area" on the plan attached hereto as Schedule 'X' to this section	
g) landscaped open space shall be provided and maintained in the areas designated "landscaped area" on the said plan	
h) notwithstanding the provisions of Section 4, motor vehicle parking spaces, loading areas and driveway access thereto shall be located wholly within the areas designated "parking and driveway area" on the said plan	
j) a planting strip and/or a 1.8 metre solid wood board fence shall be provided and maintained along the west property line and the initial installation shall be to the satisfaction of the city	
262.4 SP.232 District is hereby designated as a commercial district	

LIMIT OF SP.232 DISTRICT  
 BUILDING AREA -  
 PARKING & DRIVEWAY AREA -  
 LANDSCAPED AREA -



SCHEDULE - A TO  
 BY-LAW 19 --  
 PASSED THE \_\_\_ DAY  
 OF \_\_\_\_\_  
 \_\_\_\_\_ MAYOR  
 \_\_\_\_\_ CLERK

SCHEDULE - 'X' TO SECTION-262



REID STREET

SIMCOE STREET



0 Metres 9.144

2-6837

## SECTION 263

### SPECIAL DISTRICT 233 (SP.233)

263.1 For the purpose of this by-law, land use district "Special District 233" is hereby established and may be referred to by the symbol "SP.233".

#### PERMITTED USES:

263.2 No person shall within an SP.233 District use any land or erect, alter or use any building or part thereof for any reason other than:

- (a) an apartment dwelling containing not more than 24 dwelling units.

#### REGULATIONS:

263.3 No person shall within an SP.233 District use any land or erect, alter or use any building of part thereof except in accordance with the following regulations:

Type	Requirement
a) minimum lot area	4,500 square metres
b) minimum lot area per dwelling unit	185 square metres
c) minimum lot width	35 metres
d) minimum lot depth	100 metres
e) minimum building setback	
i) side lot line	4 metres
ii) rear lot line	9 metres or the height of the building whichever is the greater
f) maximum building coverage	30%
g) maximum number of storeys	3
h) maximum lot coverage by open parking areas, driveways and vehicle movement areas	40%
j) notwithstanding the provisions of Section 4.2(A), a minimum of 1.4 motor vehicle parking spaces per dwelling unit shall be provided and maintained within the district	
k) notwithstanding the provisions of Section 4.3.2, a window to a habitable room may be located not less than 1.5 metres from a motor vehicle parking space provided that the bottom of the window is a distance greater than 1.8 metres above the surface of the motor vehicle parking space	
263.4 SP.233 District is hereby designated as a residential district	

## SECTION 264

### SPECIAL DISTRICT 234 (SP.234)

264.1 For the purpose of this by-law, land use district "Special District 234" is hereby established and may be referred to by the symbol "SP.234".

#### PERMITTED USES:

264.2 No person shall within an SP.234 District use any land or erect, alter or use any building or part thereof for any reason other than:

- (a) a row dwelling
- (b) a group dwelling
- (c) an apartment dwelling

#### REGULATIONS:

264.3 No person shall within an SP.234 District use any land or erect, alter or use any building of part thereof except in accordance with the following regulations:

Type	Requirement
a) minimum lot area	2,500 square metres
b) minimum lot area per dwelling unit	465 square metres
c) maximum number of units within the district	90
d) minimum lot width	10 metres
e) minimum building setback - side lot line or rear lot line	6 metres
f) minimum distance between buildings	10 metres
g) maximum building coverage	35%
h) maximum building height	1 storey
j) an accessory building may be constructed on the lot provided such building is a minimum distance of 2.4 metres from the main building, a side lot line and a rear lot line and at least 6.1 metres from a street line	
k) maximum lot coverage by open parking areas, driveways and vehicle movement areas	25%
264.4 SP.234 District is hereby designated as a residential district	

**SECTION 265**

**SPECIAL DISTRICT 235 (SP.235)**

265.1 For the purpose of this by-law, land use district "Special District 235" is hereby established and may be referred to by the symbol "SP.235".

**PERMITTED USES:**

265.2 No person shall within an SP.235 District use any land or erect, alter or use any building or part thereof for any reason other than:

- (a) a clinic
- (b) a dwelling unit

**REGULATIONS:**

265.3 No person shall within an SP.235 District use any land or erect, alter or use any building of part thereof except in accordance with the following regulations:

<b>Type</b>	<b>Requirement</b>
a) minimum lot width	15 metres
b) minimum lot depth	35 metres
c) minimum building setback i) side lot line ii) rear lot line	0.3 metres 12 metres or one half of the height of the building whichever is the greater
d) maximum building coverage	33%
e) maximum building height	2 storeys
f) a clinic shall be located only on the main floor	
g) a clinic may be used by not more than one doctor	
h) a dwelling unit shall be located only on the second floor when the main floor is used for a clinic	
j) minimum landscaped open space	18% of the lot area
k) landscaped open space of a minimum width of 1.5 metres shall be provided and maintained along the south and westerly property lines except for the area occupied by the garage and driveway thereto from Rubidge Street	
l) a privacy fence shall be constructed and maintained along the southerly property line	
m) notwithstanding the provisions of Section 4, parking for not less than 6 motor vehicles shall be provided on the site. A physical separation between the parking areas located in the front and rear of the property shall be maintained.	
n) the existing attached garage shall be maintained as a garage	
265.4 SP.235 District is hereby designated as a commercial district	

**SECTION 266****SPECIAL DISTRICT 236 (SP.236)**

266.1 For the purpose of this by-law, land use district "Special District 236" is hereby established and may be referred to by the symbol "SP.236".

**PERMITTED USES:**

266.2 No person shall within an SP.236 District use any land or erect, alter or use any building or part thereof for any reason other than:

- i) An office
- ii) A clinic
- iii) A retail establishment
- iv) A restaurant
- v) A bank, financial institution or loan company
- vi) An art school, music school, dance school or fine arts school
- vii) An art gallery
- viii) A personal service establishment
- ix) A studio or craft shop
- x) A dwelling unit

**REGULATIONS:**

266.3 No person shall within an SP.236 District use any land or erect, alter or use any building of part thereof except in accordance with the following regulations:

<b>Type</b>	<b>Requirement</b>
a) minimum lot width	48 metres
b) minimum lot depth	32 metres
c) maximum building area	the building area of buildings existing on July 4, 2005
d) minimum building setback	
i) side lot line	0.6 metres
ii) rear lot line	9 metres
f) maximum building height	12 metres
g) dwelling units shall be located only in a second or third storey	
h) notwithstanding the provisions of Section 4.2, a minimum of 18 motor vehicle parking spaces shall be provided and maintained within the district	

266.4

SP.236 District is hereby designated as a commercial district.

**SPECIAL DISTRICT (SP.237)**

267.1 For the purpose of this by-law, land use district "Special District 237" is hereby established and may be referred to as the symbol "SP.237".

**PERMITTED USES**

267.2 No person shall within an SP.237 district use any land or erect, alter or use any building or part thereof for any purpose other than:

- a) a retail establishment
- b) a retail convenience store
- c) an office
- d) a clinic
- e) a personal service establishment
- f) a video rental establishment
- g) a restaurant
- h) a bank, loan company or other financial institution
- j) a gymnasium or health club
- k) a studio or craft workshop
- l) a dwelling unit.

**REGULATIONS**

267.3 No person shall within an SP.237 district use any land or erect, alter or use any building or part thereof except in accordance with the following regulations:

a)	maximum number of storeys	3
b)	minimum building setback	
	i) along a side or rear lot line abutting a district which permits a single or a two unit residential dwelling	6 metres
	ii) along all other side or rear lot lines	3 metres
	iii) notwithstanding the provisions of Section 6, along a street line	1.5 metres
c)	minimum width of landscaped open space to be provided and maintained along lot lines shall be 1.5 metres, except as interrupted by driveways.	
d)	minimum lot area per dwelling unit	185 square metres

267.4 SP.237 is hereby designated as a commercial district.

**SECTION 268**

**SPECIAL DISTRICT 238 (SP.238)**

268.1 For the purpose of this by-law, land use district "Special District 238" is hereby established and may be referred to by the symbol "SP.238".

**PERMITTED USES:**

268.2 No person shall within an SP.238 District use any land or erect, alter or use any building or part thereof for any reason other than:

- (a) a single unit dwelling

**REGULATIONS:**

268.3 No person shall within an SP.238 District use any land or erect, alter or use any building or part thereof except in accordance with the following regulations:

<b>Type</b>	<b>Requirement</b>
a) minimum lot area	1.92 hectares
b) minimum lot depth	225 metres
c) minimum lot width	85 metres
d) Section 6.4 shall not apply to prevent the erection or use of a single unit dwelling on a lot in an SP.238 District notwithstanding that water distribution and wastewater collection facilities are not available to such lot	
268.4 SP.238 District is hereby designated as a residential district	



## SECTION 269

### SPECIAL DISTRICT 239 (SP.239)

269.1 For the purpose of this by-law, land use district "Special District 239" is hereby established and may be referred to as the symbol "SP.239"

#### PERMITTED USES

269.2 No person shall within an SP.239 district use any land or erect, alter or use any building or part thereof for any purpose other than:

- (a) a retail establishment including a department store, convenience retail store, drug store or bakeshop but not including a purpose set forth in Section 16.1 (a) and 16.1(o).
- (b) a rental establishment
- (c) a repair shop but not including a purpose set forth in Section 16.1(q) and 16.1(r)
- (d) a bank, financial institution or loan company
- (e) an office excluding a veterinary office
- (f) a clinic
- (g) a barber shop or beauty shop
- (h) a dry cleaning depot, a self-serve laundry
- (j) a studio or craft workshop
- (k) a trade school
- (l) an art school, music school, dance school or fine arts school
- (m) a school
- (n) a library, museum or art gallery
- (o) a restaurant
- (p) a place of entertainment
- (q) a place of assembly
- (r) a gymnasium or health club
- (s) a club house or lodge hall
- (t) a church
- (u) a hotel
- (v) a taxi stand
- (w) a post office or sub-post office
- (x) a dressmaker or tailor shop
- (y) a parking lot or parking garage
- (z) a funeral parlour
- (aa) a police station, jail or fire hall
- (ab) a hospital
- (ac) a nursing home
- (ad) a day nursery
- (ae) a boarding house
- (af) a printing shop or publishing house
- (ag) a transportation terminal
- (ah) a communication terminal
- (ai) a dwelling unit
- (aj) a place of amusement
- (ak) a home for the aged

**REGULATIONS**

269.3 No person shall within an SP.239 district use any land or erect, alter or use any building or part thereof except in accordance with the following regulations:

<b>Type</b>	<b>Requirement</b>
a) dwelling units shall be located only in a second or higher storey	
b) a window in a habitable room in a dwelling unit shall be at least 3 metres from the east side lot line and 5 metres from the west side lot line and rear lot line it faces	
c) maximum building coverage	80% above grade; 100% below grade for an underground parking structure
d) maximum building floor area ratio	6 metres
e) maximum building height	23 metres
f) notwithstanding the provisions of Section 4.6.1, the minimum width of a loading space shall be 3 metres	
g) notwithstanding the provisions of Section 4.2, a minimum of 58 motor vehicle parking spaces shall be provided and maintained within the district	
h) all grade level openings to any building shall be flood proofed to a regional storm flood elevation of 196.87 metres geodetic	
j) notwithstanding the provisions of Section 6.8, the building setback from Charlotte Street shall be 0.0 metres from the street line to a maximum height of 12 metres above grade and further by an inclined plane at an angle of 42 degrees within the property from the vertical extension of setback commencing at the minimum building setback - Charlotte Street (street line) shall be at a point 12 metres above average grade	
k) the minimum building setback from the north limit of the district shall be 5 metres from the property line to a maximum height of 17.5 metres above grade and further by an inclined plane at an angle of 35 degrees within the building from the vertical extension of setback commencing at the minimum setback at a point 17.5 metres above average grade	
269.4 SP.239 District is hereby designated as a commercial district	

## SECTION 271

### SPECIAL DISTRICT 241 (SP.241)

271.1 For the purpose of this by-law, land use district "Special District 241" is hereby established and may be referred to as the symbol "SP.241".

**PERMITTED USES**

271.2 No person shall within an SP.241 district use any land or erect, alter or use any building or part thereof for any purpose other than:

- (a) an office in existing buildings, excluding a veterinary office
- (b) a clinic in existing buildings
- (c) a dwelling unit in existing buildings

**REGULATIONS**

271.3 No person shall within an SP.241 district use any land or erect, alter or use any building or part thereof except in accordance with the following regulations:

Type	Requirement
a) notwithstanding the provisions of Section 4, for purposes of this district, no additional motor vehicle parking shall be permitted between the building face and the front lot line	
b) notwithstanding the provisions of Section 4.3, for purposes of this district, a motor vehicle parking space shall be at least 2.5 metres by 5.5 metres and shall be accessed by a driveway with an aisle width not less than 5.5 metres	
c) for purposes of this district, a minimum of 15% of the total lot area shall be comprised of landscaped open space area	
d) notwithstanding the provisions of Section 271.2, additions may be permitted to existing buildings provided that: <ul style="list-style-type: none"> <li>i) total building coverage including expansions does not exceed 35% of the total lot area</li> <li>ii) the minimum building setback - side lot line</li> <li>iii) the minimum building setback - rear lot line</li> </ul>	shall be the lesser of the existing setback or 1.5 metres  shall be the lesser of the existing setback or 9 metres
271.4 SP.241 District is hereby designated as a commercial district	

## SECTION 272

### SPECIAL DISTRICT 242 (SP.242)

272.1 For the purpose of this by-law; land use district "Special District 242" is hereby established and may be referred to by the symbol "SP.242".

#### PERMITTED USES

272.2 No person shall within an SP.242 district use any land or erect, alter or use any building or part thereof for any purpose other than:

- a) an office, excluding a veterinary office
- b) a clinic
- c) a bank, financial institution, or loan company
- d) a convenience retail store
- e) a drug store
- f) a sub-post office
- g) a beauty shop
- h) a barber shop
- i) a dry cleaning depot
- j) a dressmaker or tailor shop
- k) a bake shop

#### REGULATIONS

272.3 No person shall within an SP.242 district use any land or erect, alter or use any building or part thereof except in accordance with the following regulations:

Type	Requirement
a) total maximum commercial floor area	1,490 square metres
b) maximum floor area per commercial purpose:	
i) a drug store	375 square metres
ii) a convenience retail store	140 square metres
c) total maximum floor area for an office use	745 square metres
d) minimum lot width	45 metres
e) minimum lot depth	55 metres
f) minimum lot area	2,000 square metres
g) maximum building coverage	30%
h) minimum building setback - side lot line or rear lot line	9 metres
j) minimum landscaped open space	20% of the area of the lot
k) maximum number of storeys	2
l) an accessory building or waste receptacle or garbage storage area may be erected or located within the district, excepting within the minimum required landscaped open space area, provided the following regulations are complied with:	
i) minimum building setback	6 metres
ii) maximum building height	3 metres
iii) maximum building or site area	30 square metres
272.4 SP.242 District is hereby designated as a commercial district	

## SECTION 273

## SPECIAL DISTRICT 243 (SP.243)

273.1 For the purpose of this by-law, land use district "Special District 243" is hereby established and may be referred to as the symbol "SP.243".

### PERMITTED USES

273.2 No person shall within an SP.243 district use any land or erect, alter or use any building or part thereof for any purpose other than:

- a) row dwellings
- b) apartment dwellings

### REGULATIONS

273.3 No person shall within an SP.243 district use any land or erect, alter or use any building or part thereof except in accordance with the following regulations:

Type	Requirement
a) minimum lot area	2.7 hectares
b) minimum lot area per dwelling unit	465 square metres
c) minimum street line i) Frances Stewart Road ii) Armour Road	20 metres 90 metres
d) minimum building setback - side lot line or rear lot line	1.5 metres on the entire northwesterly boundary of property and 9 metres on the easterly boundary of the property extending from the northerly limit of Armour Road
e) maximum number of storeys	2
f) maximum number of dwelling units per row dwelling or apartment dwelling	12
g) maximum building coverage	25%
h) maximum lot coverage by open parking areas, driveways and vehicle movement areas	20%
273.5 SP.243 District is hereby designated as a residential district	

**SECTION 274**

**SPECIAL DISTRICT 244 (SP.244)**

274.1 For the purpose of this by-law, land use district "Special District 244" is hereby established and may be referred to as the symbol "SP.244".

**PERMITTED USES:**

274.2 No person shall within an SP.244 district use any land or erect, alter or use any building or part thereof for any purpose other than:

- (a) a dwelling unit
- (b) an office excluding a veterinary office
- (c) a clinic
- (d) a studio or craft workshop
- (e) a trade or vocational school
- (f) an art school, music school, dance school or fine arts school
- (g) a library, museum or art gallery
- (h) a gymnasium or health club
- (j) a post office or sub-post office
- (k) a dressmaker or tailor shop
- (l) a beauty salon or barber shop
- (m) a day nursery
- (n) a school
- (o) a retail establishment for the sale, rental or repair of:
  - i) antiques
  - ii) jewellery
  - iii) photographic studio
  - iv) handicrafts
  - v) books, magazines and stationery
  - vi) art supplies
  - vii) flowers
  - viii) musical instruments
  - ix) bake goods

**REGULATIONS**

274.3 No person shall within an SP.244 District use any land or erect, alter or use any building or part hereof except in accordance with the following regulations:

Type	Requirement
a) minimum lot area	465 square metres
b) minimum building setback i) side lot line ii) rear lot line	the lesser of 1.5 metres or the existing setback the lesser of 6 metres or the existing setback
c) maximum building coverage	50%
d) maximum number of storeys	4
e) minimum landscaped open space	10% of the area of the lot
f) landscaped open space of a minimum width of the lesser of 1.5 metres or the existing side lot line or rear lot line shall be provided and maintained along a lot line abutting a residential district	
g) maximum building floor area for each use listed in 274.2(o)	140 square metres
h) total maximum building floor area for uses listed in 274.2(o)	370 square metres

<p>j) an accessory building, waste receptacle or garbage storage area may be erected or located within the district, except within a minimum required landscaped open space area and minimum building set back from a side lot line or rear lot line, provided the following regulations are complied with:</p> <ul style="list-style-type: none"> <li>i) maximum building height</li> <li>ii) maximum building or site area</li> </ul>	<p>4 metres 25 square metres</p>
<p>k) notwithstanding the provisions of Section 4.3.1, within this district each required motor vehicle parking space shall be at least 2.5 metres by 5.5 metres, and shall be readily accessible and useable at all times by way of a driveway with an aisle width of not less than 5.5 metres. Each motor vehicle parking space shall be used only for the parking of serviceable motor vehicles used in conjunction with the permitted use</p>	
<p>274.4 SP.244 District is hereby designated as a commercial district</p>	

**SECTION 275**  
**SPECIAL DISTRICT 245 (SP.245)**

275.1 For the purpose of this by-law, land use district "Special District 245" is hereby established and may be referred to as the symbol "SP.245".

**PERMITTED USES**

275.2 No person shall within an SP.245 district use any land or erect, alter or use any building or part thereof for any purpose other than:

a) a dwelling unit

**REGULATIONS**

275.3 No person shall within an SP.245 district use any land or erect, alter or use any building or part thereof except in accordance with the following regulations:

Type	Requirement
a) minimum lot area	4,000 square metres
b) minimum building setback – side lot line	6 metres
c) maximum number of storeys	3
d) maximum building coverage	25%
e) minimum landscaped open space	25% of the area of the lot
f) maximum lot coverage by open parking areas, driveways and vehicle movement areas	50%
g) maximum lot area per dwelling unit	160 square metres
h) an accessory building, bicycle parking structure, waste receptacle or garbage storage area and meter room may be erected or located within the district provided the following regulations are complied with:	
i) minimum setback from the centre line of Spillsbury Drive	17.5 metres
ii) minimum building setback	4 metres
iii) maximum building height	4.6 metres
iv) maximum building or site area	38 square metres
i) maximum encroachment for an unclosed porch or balcony into any required building setback from a street line	1.5 metres
j) minimum parking requirements	1.65/unit
k) minimum parking space dimensions	2.7 metres by 5.5 metres for parking spaces located along centre aisle which is not part of the fire route
l) minimum aisle width serving 76-90 degree parking	6.0 metres for centre aisle which is not part of fire route
m) minimum building setback of the street line of a local street which is 20 metres or wider in width	5 metres
n) minimum bicycle parking	0.9 parking spaces per dwelling unit
275.4 SP.245 District is hereby designated as a residential district	



December 31, 2010

**SECTION 276**

**SPECIAL DISTRICT 246 (SP.246)**

276.1 For the purpose of this by-law, land use district "Special District 246" is hereby established and may be referred to as the symbol "SP.246".

**PERMITTED USES**

276.2 No person shall within an SP.246 district use any land or erect, alter or use any building or part thereof for any purpose other than a shopping centre limited to the following:

(a) a retail establishment for the sale of:

- i) hardware
- ii) new auto parts and accessories
- iii) radio, television, electrical and home appliances
- iv) furniture
- v) shoes and clothing
- vi) dry goods
- vii) jewellery
- viii) optical supplies
- ix) books, magazines and stationery
- x) smoking supplies
- xi) art supplies
- xii) musical instruments
- xiii) floral and horticultural products
- xiv) photographic supplies
- xv) pets
- xvi) paint, wallpaper and decorating supplies
- xvii) sporting goods
- xviii) pharmaceuticals

(b) a retail establishment for the sale of:

- i) food
- ii) beer, wine or liquor
- iii) antiques

(c) a convenience retail store

(d) a drug store

(e) a bakeshop

(f) a retail catalogue sales establishment

(g) an establishment wherein any of the merchandise listed in the foregoing clause (a) may be rented or repaired

(h) a service station

(i) a bank, financial institution or loan company

(j) an office, excluding a veterinary office

(k) a clinic

(l) a barber shop

(m) a dressmaking or tailor shop

(n) a shoe shine parlour or a shoe repair shop

(o) a self-service laundry

(p) a dry-cleaning depot

(q) a studio or craft workshop

(r) an art school, music school, dance school or fine arts school

(s) a library, museum or art gallery

(t) a restaurant excluding a free standing fast food outlet

(u) a theatre

(v) an auditorium

(w) a cinema

(x) a bowling alley

(y) a gymnasium or health club

(z) a taxi stand

(aa) a sub-post office

- (ad) a place of assembly
- (ae) a club house or lodge house
- (af) a video rental establishment
- (ag) a food kiosk

276.3 No person shall within an SP.246 district, use any land or erect, alter or use any building or part thereof except in accordance with the following regulations:

Type	Requirement
a) maximum lot area occupied or developed as a shopping centre	2.0 ha
b) maximum building floor area of all development	3,850 square metres
c) maximum number of storeys	2
d) maximum Gross Leasable Area of any retail or service commercial establishment exclusive of the uses listed in e) and f) below.	300 square metres
e) maximum Gross Leasable Area of an individual establishment for the following uses:  Retail Sales of: <ul style="list-style-type: none"> <li>• New Auto Parts and Accessories;</li> <li>• Optical Supplies;</li> <li>• Art Supplies;</li> <li>• Pets;</li> <li>• Paint; Wallpaper and Decorating Supplies;</li> <li>• Beer, Wine or Liquor.</li> </ul> An Office, excluding a veterinary office; A Clinic; A Bank, Financial Institution or Loan Company; A restaurant; A gymnasium or health club; A video rental establishment.	550 square metres
f) maximum Gross Leasable Area of a drug store or a food store	1,600 square metres
g) minimum width of Landscaped Open Space (except at access points)  <ul style="list-style-type: none"> <li>• Abutting north property line</li> <li>• Abutting east property line</li> <li>• Abutting west property line</li> <li>• Abutting south property line</li> </ul>	6.0 metres 3.0 metres 5.0 metres 3.0 metres
h) Planting Strips and/or architectural screening and/or landscape berm with a minimum height of 1.0 m shall be constructed and maintained within the Landscape Open Space along the north, west and south lot lines.	
i) minimum building setback from parkland	9 metres
j) maximum number of service bays for a service station	2
k) an accessory building or waste receptacle or garbage storage area may be erected or located within the district, provided the following regulations are complied with:  i) minimum building setback ii) maximum building height iii) maximum building or site area	9 metres 4.5 metres 37 square metres
l) Placement of portable signs is prohibited	
276.4 SP.246 District is hereby designated as a Commercial District”	

**SECTION 277****SPECIAL DISTRICT 247 (SP.247)**

277.1 For the purpose of this by-law, land use district "Special District 247" is hereby established and may be referred to as the symbol "SP.247".

**PERMITTED USES:**

277.2 No person shall within an SP.247 District use any land or erect, alter or use any building or part thereof for any purpose other than:

- a) an office, excluding a veterinary office
- b) a clinic
- c) a convenience retail store
- d) a personal service use
- e) a bank, financial institution, or loan company
- f) a restaurant
- g) a drug store
- h) a food store
- j) a sub-post office
- k) a dry cleaning depot
- l) a video rental establishment
- m) a dwelling unit

**REGULATIONS**

277.3 No person shall within an SP.247 District use any land or erect, alter or use any building or part thereof except in accordance with the following regulations:

<b>Type</b>	<b>Requirement</b>
a) minimum lot area	3,500 square metres
b) maximum floor area per commercial purpose	230 square metres
c) total maximum floor area for all commercial purposes	745 square metres
d) minimum lot area per dwelling unit	325 square metres
e) minimum lot width	60 metres
f) maximum building coverage	25%
g) minimum building setback	
i) side lot line	the lesser of the existing setback or 9 metres
ii) rear lot line	6 metres
h) minimum landscaped open space	15% of the area of the lot
j) maximum number of storeys	2
k) an accessory building, waste receptacle or garbage storage area may be erected or located within the district, excepting within the minimum required landscaped open space area, provided the following regulations are complied with:	
i) minimum building setback	6 metres
ii) maximum building height	3 metres
iii) maximum building or site area	28 square metres

l) a dwelling unit in a building which also contains a commercial use shall be located in the second storey	
m) for all purposes of this By-law, the area designated as SP.247 shall be deemed to be a lot	
n) for all purposes of this By-law, the area designated as SP.247 shall be deemed to be a lot.	

277.4

SP.247 District is hereby designated as a commercial district

## SECTION 278

### SPECIAL DISTRICT 248 (SP.248)

278.1 For the purpose of this by-law, land use district "Special District" is hereby established and may be referred to by the symbol "SP.248".

#### PERMITTED USES

278.2 No person shall within any SP.248 District use any land or erect, alter or use any building or part thereof for any purpose other than:

- a) a service station
- b) an animal hospital or office of a veterinarian
- c) a car wash
- d) a restaurant
- e) a taxi stand
- f) a dry-cleaning establishment - Class 2
- g) a funeral parlour
- h) a retail establishment for the sale of:
  - i) building products and contractor supplies
  - ii) farm equipment
  - iii) farm supplied, grain and feed
  - iv) motor vehicles
  - v) motor vehicle parts
  - vi) boats, trailers, travel trailers and mobile homes
  - vii) furniture
  - viii) antiques
- j) a nursery or greenhouse
- k) a public garage
- l) an auto body repair establishment
- m) a muffler, auto glass, or other motor vehicle repair establishment
- n) a rental establishment
- o) a repair shop
- p) a bank, financial institution or loan company
- q) a place of amusement
- r) a personal services establishment
- s) a retail establishment for the sale of food
- t) a convenience retail store
- u) a sub post office
- v) a photographer's studio
- w) a bake shop
- x) a catalogue sales centre
- y) a mailbox rental service outlet
- z) a gymnasium or health club
- aa) an office
- bb) a video rental outlet
- cc) a clinic

## REGULATIONS

278.3 No person shall within an SP.248 District use any land or erect, alter or use any building or part thereof for the purpose of a service station unless the provisions of Section 14.2 are complied with.

278.4 No person shall within an SP.248 District use any land or erect, alter or use any building or part thereof for a purpose other than a service station except in accordance with the following regulations:

Type	Requirement
a) minimum lot width	30 metres
b) minimum lot depth	45 metres
c) minimum building setback - side lot line or rear lot line	9 metres
d) maximum building coverage	40%
e) maximum building height	2 storeys
f) maximum floor area per commercial purpose for: i) uses (r) to (v) inclusive ii) a clinic or an office	230 square metres 745 square metres
g) landscaped open space including a planting strip, having a minimum width of 9 metres shall be provided and maintained along a lot line abutting a residential or development district	
h) landscaped open space of a minimum width of 1.5 metres shall be provided and maintained along all other lot lines provided such open space may be interrupted by driveways	
j) up to 50% of the area between a building and a street line may be used for the open display of merchandise	

278.5 SP.248 is hereby designated as a commercial district.

**SECTION 279**

**SPECIAL DISTRICT 249 (SP.249)**

279.1 For the purpose of this by-law, land use district "Special District 249" is hereby established and may be referred to as the symbol "SP.249".

**PERMITTED USES:**

279.2 No person shall within an SP.249 district use any land or erect, alter or use any building or part thereof for any purpose other than:

- (a) an established use
- (b) a converted dwelling

**REGULATIONS**

279.3 No person shall within an SP.249 district use any land or erect, alter or use any building or part thereof except in accordance with the following regulations:

<b>Type</b>	<b>Requirement</b>
a) minimum lot area	925 square metres
b) minimum lot area per dwelling unit	100 square metres
c) minimum lot width	25 metres
d) minimum lot depth	30 metres
e) maximum number of storeys	3
f) maximum building coverage	45%
g) minimum building setback	
i) side lot line	the lesser of the existing setback or 1.5 metres
ii) rear lot line	the lesser of the existing setback or 9 metres
h) minimum landscaped open space	20% of the area of the lot
k) maximum lot coverage by open parking areas, driveways, and vehicle movement area	35%
l) notwithstanding the provisions of Section 4.3.1, within this district each required motor vehicle parking space shall be at least 2.5 metres by 5.5 metres, and shall be readily accessible and useable at all times by way of a driveway with an aisle width of not less than 5.5 metres. Each motor vehicle parking space shall be used only for the parking of serviceable motor vehicles with the permitted use.	
279.4	SP.249 District is hereby designated as a residential district