



City of  
Peterborough

**COMMITTEE OF ADJUSTMENT**  
**HEARING DATE: October 18, 2011**

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**Staff Comments Re: Files: A35/11, A37/11, A38/11, A39/11, A40/11, B/13/11, A41/11, A42/11, A43/11 and A44/11**

**A35/11 – 1119 Water Street - 1731254 Ontario Inc.**

The subject property is designated for residential purposes and is zoned C.2 Commercial District. The permitted use of the property is a “service station”, a defined term in the by-law. The proponent would like to use the property as a motor vehicle repair establishment as the primary use. The sale of motor vehicles may also occur only as an accessory use. A variance is therefore requested to Section 1 of the zoning by-law seeking relief from the definition of a motor vehicle “service station” as an establishment that must retail gasoline as a primary use.

Water Street is a major arterial road way conducting traffic north and south into the central business district. Along the route there are two locations at the intersection of Hilliard Street and Nassau Road where the land is designated as Service Commercial where automotive oriented land use could be pursued through zoning. There are however three locations, including the subject property where dated, C.2 Commercial district zoning have been left. While the intent of the C.2 zoning was to allow a service station that would cater to a neighbourhood on a local scale, the industry has evolved so it no longer serves motor vehicles that way. There is no functional C.2 zoned property within the City as of October, 2011.

The Official Plan also identifies the property as being located within a natural area in proximity to the regulated limits of the Bears Creek Flood plain and fish habitat. Acknowledging the location of the property next to waterways, staff would suggest that a motor vehicle repair shop next to Bears Creek and the Otonabee River would be a more environmentally compatible use than a gasoline station. Recognizing the zoning rights of the property and the direction in which the interest in land use of this property is heading, staff would suggest that an environmental study may not be necessary provided that the owner agrees to relinquish the rights to use the property for the sale of gasoline not withstanding the existing zoning.

Referring to the plan attached as Exhibit A, staff is of the opinion that the size of the property would only support an operation that would function on more of a local scale and would facilitate a small scale motor vehicle repair establishment as a more appropriate use of the site than a gas station located next to two waterways. Staff also considered the size of the building on the property that includes two service bays and determined that parking for four motor vehicles would be required to support the use. That leaves space for approximately 12 vehicles on the site. Considering the proposed, primary use

of the property to be a motor vehicle repair establishment, that would suggest that the number of motor vehicles on the lot for sale should not exceed the number of motor vehicles on the lot being repaired.

Subject to concerns raised by neighbouring property owners, Staff would not object to the Committee granting a variance as described, on the condition that the owner enters into an agreement with the City to forfeit the retail sale of gasoline from the property indefinitely, notwithstanding its zoning. The agreement would also include a clause acknowledging that there would be no more than six motor vehicles on the property for sale at any one time.

**A37/11 – 82 Parcels Crescent - Ronald Scriver**

Please note that there are outstanding issues regarding this property that do not allow staff to comment on this application at this time. Staff is therefore recommending that this application be adjourned sine die.

**A38/11 – 363 Rogers Street - Karen La Riviere**

The owner would like to construct a carport attached to the north side of the dwelling on the property. A variance is therefore requested to reduce the minimum building setback from the centre line of Rogers Street from 19 metres to 13.81 metres and reduce the minimum building setback from the north side lot line from 1.2 metres to 0.76 metres as illustrated on the plan attached to the staff report as Exhibit C.

Rogers Street is a collector street with older dwellings established in close proximity to the street line all along the south side of the street. The subject property happens to be located adjacent to a parcel of land linked to the larger area of vacant land to the west associated with the parking lot for the former St. Joseph's Hospital.

Staff have visited the subject property and noted the established standard of development of properties in the vicinity and is of the opinion a variance that would allow the carport to be in line with the established building line of the dwelling in relation to Rogers Street would not be significant. Staff also noted that the property can only provide one parking space on the property between the building face and the street line and is concerned that if the carport became a garage the parking space could be compromised.

Staff would not object to the Committee granting the variances as described that would pertain to an open sided carport only provided that an eaves trough is established and maintained on the structure to manage storm water on the property so as not to affect the neighbouring property.

**A39/11 – 211 Hunter Street East Skyline Equities Inc.**

The subject property, known as Time Square has a site specific zoning that references a "Schedule A" to the zoning district that specifies the location of buildings, landscaping and

parking area on the property. "Schedule A" is attached to the report as Exhibit D. The proponent would like to establish a new out building on the property so a variance to Schedule "A" of the SP.229 Zoning district to modify the delineation the parking area located to the rear of the building is being requested.

Exhibit E illustrates the proposed location of the 5.5 metre (18 ft) by 8 metre (26 ft), one storey garage to be located within the parking area to the south east side of the building on the property.

Staff considered the proposed location of the building that would occupy 3 parking spaces. Considering the scale and low profile of the structure and its proposed location, staff is of the opinion that the building would not be visible from the street or the Lift Lock Visitor Centre grounds due to the grades and landscaping. Staff also reviewed the parking requirements and is satisfied that there would be no significant stress on parking provided in relation to the development and use of the building on the property.

Subject to concerns raised by neighbouring property owners staff would not object to the Committee granting the variance as described on the condition that the site plan for the property is amended to illustrate the building accordingly.

#### **A40/11 – 583 Water Street - Laura Tighe**

The owner would like to remove the garage attached to the rear of the dwelling and construct a two storey, 52 sq metre addition to the building to accommodate a third apartment unit. The proposed addition would project 4.8 metres to the rear of the main building on the property. Considering the R.3 residential zoning regulation, the following variances are requested to allow the proposed addition:

- i) Reduce the minimum required lot area per dwelling unit from 230 sq metres to 213 sq metres;
- ii) Increase the maximum permitted building coverage from 35% to 36%; and
- iii) Reduce the minimum distance that a driveway or motor vehicle may be located in relation to the south side lot line and west rear yard from 1.5 metres to zero.

Referring to the Plan attached as Exhibit F, the subject property is a large lot with access to the rear yard from a laneway along the south side of the property. The property is zoned to permit three dwelling units except the area of the property is slightly under size. Considering the variance requested to lot area, the Official Plan infill policies would anticipate a density of medium density residential – between 25 and 75 units per hectare. The proposed 3 units on this property would result in a density of 47 units per hectare which is not unreasonable for infill development. The owner is proposing to remove the existing buildings on the property effectively reducing lot coverage to replace the structures with a two storey addition that would accommodate one additional unit and provide more space for parking.

The property is unique having a laneway along side it to provide access to parking on the property. The variance requested to the landscaping in relation to the laneway along the south side of the property is reasonable considering the laneway and how it could be

used to facilitate a functional, on site parking arrangement.

Staff visited the site and considered the established standard of property development in the vicinity. Staff is of the opinion that the impact of the variances requested would be minor and would facilitate a reasonable standard of redevelopment and land use.

Subject to concerns raised by neighbouring property owners, Staff would not object to the Committee granting the variances as described on the condition that the owner pay a parks levy of an amount to be determined by the parks levy review Committee for the additional apartment unit and enter into a site development agreement with the City that would include a grading plan to address the building addition and the requirement of 5 parking spaces on the property graded to the satisfaction of the Urban Design Technician.

### **B13/11 – 663 – 667 Brown Street - Mathew Thomas Packman**

Referring to the plan attached as Exhibit G, the owner would like to convey the westerly 12 metres of the subject property known municipally as 667 Brown Street that inadvertently merged in title with the 15 metre wide property to the east known municipally as 663 Brown Street.

Municipal records indicate that notwithstanding the R.1 Residential zoning of 667 Brown Street the use of the property is recognized as a legal non-conforming duplex. The building at 663 Brown Street is used as a single unit dwelling and has a variance File 82/87 recognizing the location of the attached garage on the property located 0.42 metres (1.39 ft) from the former lot line now the proposed line of severance.

While the property use of the building at 667 Brown Street as a two unit dwelling does not comply with the zoning today the second unit predated the time of apartments and housing legislation which would have recognized the use anyway. Although the location of the building at 663 in relation to the east side lot line may not conform, the proposed line of severance would have no bearing on this issue.

Staff is therefore of the opinion that the separate ownership of the two properties would allow the two properties to exist as they had in the past with no affect resulting from the consent. Staff would not object to the Committee granting the consent as described.

### **A41/11 – 165 Parkhill Road West - Stephen L. Lawson**

The owner is requesting the following variances to acknowledge 5 dwelling units within the building on the subject property:

- i) Reduce the minimum required lot area per dwelling unit from 230 sq metres; to 180 square metres and
- ii) Reduce the minimum number of required motor vehicle parking spaces from 8 to 6.

The subject property is zoned R.1, R.2, R.3 Residential District that would anticipate a multi unit dwelling. The subject property has an area of 909 sq metres. Considering the variance requested to lot area, the Official Plan infill policies would anticipate a density of

medium density residential – between 25 and 75 units per hectare. The proposed 5<sup>th</sup> unit on this property would result in a density of 55.5 units per hectare. While the density is edging toward the high side of the medium density range, the variance should be considered along with the variance requested to parking and the size of the property with regard to the ability of the property to function in the context of its location on Parkhill Road.

The property is located on Parkhill Road West, a major arterial roadway near the intersection at George Street. This section of Parkhill Road was identified by the City's Transportation plan as under stress in its ability to conduct traffic particularly at peak rush hour. The width of the Parkhill Road road allowance is 20 metres while the Transportation Plan and Official Plan requirement is for a 26 metre wide road allowance so any development should consider the requirement to widen the road allowance.

Referring to the plan attached as Exhibit H, the existing building on the property is legal non-conforming considering its location relative to the Parkhill Road. The plan illustrates six parking spaces to be provided one of which would have to back out onto Parkhill Road conflicting with Official Plan policy 5.4.7. Considering the relationship of this property to a major arterial road, Staff cannot support the variances particularly the variance to reduce the parking based on the plans provided.

The proposal is to legalize a fifth dwelling unit on the property. Buildings containing five dwelling units are typically subject to a site plan agreement with the City. Staff is recommending that the application be adjourned to a future meeting of the Committee to allow the applicant to prepare an accurate site plan illustrating how the property will be developed to accommodate parking for 6 motor vehicles on the property considering the road widening requirement of 3 metres and the elimination of the driveway to Parkhill Road to the east side of the building on the property.

**A42/11 – 400 Lansdowne Street East - 1783883 Ontario Inc. (Willowcreek Plaza)**

The proponent would like to construct a 6.51 metre addition to the building at the east end of the plaza. The applicant is therefore requesting the following variances to the zoning district:

- i) Increase the total maximum gross leaseable area of retail establishments not exceeding 1,000 sq metres per purpose from 2,500 sq m to 2,507 sq metres;
- and
- ii) reduce the minimum required width of landscaped open space in relation to Willowcreek Boulevard lot line from 6 metres to 3 metres.

Willowcreek Plaza is a part of a land base with a Major Shopping Centre designation. The SP 252 Site Specific zoning has allowed development of the plaza anchored by a 3757 sq metre (40,447 sq ft) grocery store and a series of smaller commercial units (less than 1000 sq metres (10763 sq ft) each that in total, have a gross leasable area of 2,500 sq metres (26, 909 sq ft). The intent and purpose of the zoning regulation is to ensure space is available in such designated and zoned lands to accommodate larger scale retail establishments by avoiding the space being allocated to many smaller retail purposes.

Referring to the Plan attached as Exhibit I, Staff considered the size and number of units within the plaza and is of the opinion that the variance requested is minor and would not compromise the intent of the regulation.

Considering the second variance requested to reduce the landscaping in relation to the Willowcreek Boulevard Streetscape, the intention of the regulations was to provide a spatial separation of noise associated with activities on the commercial property from the residential properties to the east and to ensure space to accommodate landscaping including a berm to separate the activities.

Referring to the Exhibit J the plan illustrates transport trucks that may be moving by or parked within the driveway idling.

The Committee should consider the response to the circulation of the notice in considering the variance to the reduced landscaping. Should the Committee grant the variance it should be on the condition that the site plan be amended to include landscaping and solid board fencing along the east limit of the property to the satisfaction of the planner of Urban Design.

#### **A43/11 – 209 London Street - Sandy Choy**

The proponent would like to construct an addition to the rear that would accommodate three additional dwelling units. The following variances are therefore requested to permit the use of the building for 4 apartment units:

- i) Reduce the minimum lot width per dwelling unit from 6 metres to 4.3 metres, and
- ii) Reduce the minimum number of motor vehicle parking spaces required from 6 to 5.

The subject property is zoned R.1, R.2, R.3, R.4 Residential District. Referring to the Plan attached as Exhibit K, the subject property is a narrow but deep lot with the dwelling established to the west side of the lot located approximately 1 metre from the lot line.

The property is zoned to permit four dwelling units except the area of the property is narrow. The Official Plan infill policies would anticipate a density of medium density residential – between 25 and 75 units per hectare. The proposed 4 units on this property would result in a density of 39 units per hectare which is not unreasonable as infill development. Appreciating the heritage value of the existing dwelling, the proponent would like to preserve and if possible designate the building for use as a single unit dwelling while removing the one storey garage to the rear and replacing it with a two storey addition that will contain three apartment units.

With the building uniquely situated to the west side of the lot, the balance of the rear yard will be redeveloped for four parking spaces accessed by a driveway along the east side of the property. One additional parking space will be established in the front yard.

Staff visited the site and considered the established standard of property development in the vicinity. Staff is of the opinion that the impact of the variances requested would be minor and would facilitate an appropriate standard of redevelopment and land use. Subject to concerns raised by neighbouring property owners, Staff would not object to the

Committee granting the variances as described subject to the following conditions:

- 1) That the owner enter into a development agreement with the City to provide and maintain the parking on the site for four motor vehicles, including a grading plan designed so as to not affect the neighbouring properties.
- 2) the owner agree to have the dwelling designated as a heritage building if approved by the heritage designation Committee.
- 3) that the owner pay a parks levy of an amount to be determined by the parks levy review Committee for the additional apartment units.

**A44/11 – 953 Clonsilla Avenue - Peterborough Community Housing**

Referring to the plan attached as Exhibit L, the proponent would like to construct an unenclosed sun shelter and a garage to the rear of the building on the property to be located as shown. A variance is therefore requested to the regulations of the zoning district to reduce the minimum building setback from the west side lot line from 9 metres to 7.5 metres regarding the shade shelter and from 9 metres to 3 metres from the west side lot line and rear lot line regarding a garage to be located in the north west corner of the property.

The subject property is zoned C.4 – 204 Commercial District. While development of the property is subject to commercial zoning regulations, the property is used as a multi suite residence. To improve the ability of the property to accommodate the residents, relief is sought from the setback regulations from the side and rear lot line to allow the shade shelter and garage.

Staff have examined the site and considered the impact of the development on adjacent properties to be minor. Subject to concerns raised by neighbouring property owners Staff would not object to the Committee granting the variances described provided that the variances pertain only to one 7.5 m by 9 m shade shelter and one 7.5 metre by 9 metre garage used to support the use of the property for residential purposes only.

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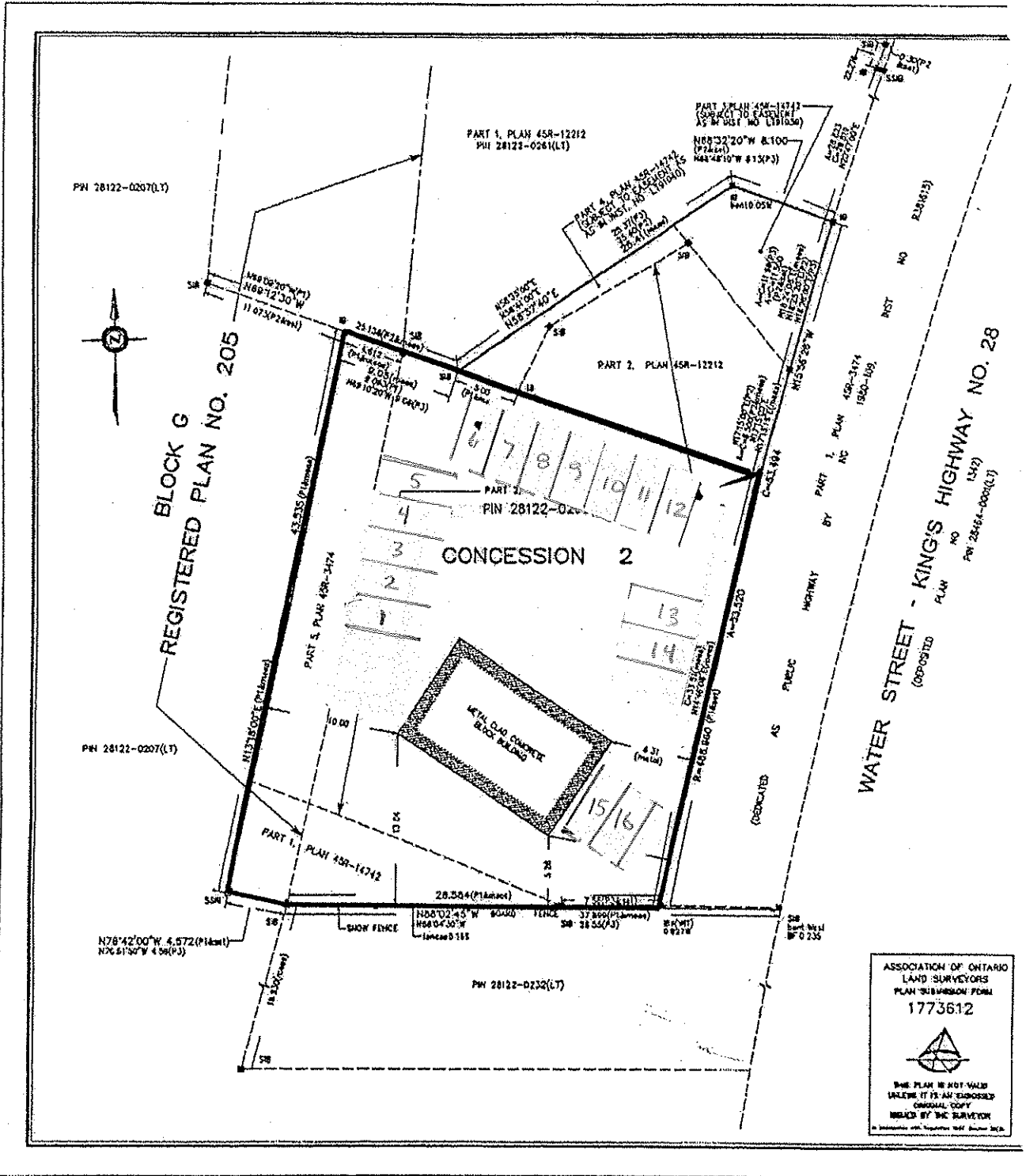
**Richard Straka**  
Planner Policy & Research

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**R. Waldron, C.E.T., CBCO**  
Manager, Building Division

SCHEDULE "B"

Vehicles For Sale  
Vehicles In For Service



ASSOCIATION OF ONTARIO  
LAND SURVEYORS  
PLAN SUBMISSION FORM  
1773612

THIS PLAN IS NOT VALID  
UNLESS IT IS AN ENDORSED  
ORIGINAL COPY  
ISSUED BY THE SURVEYOR

**NOTE:**

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048 .

EXHIBIT B  
SHEET 1 OF 1

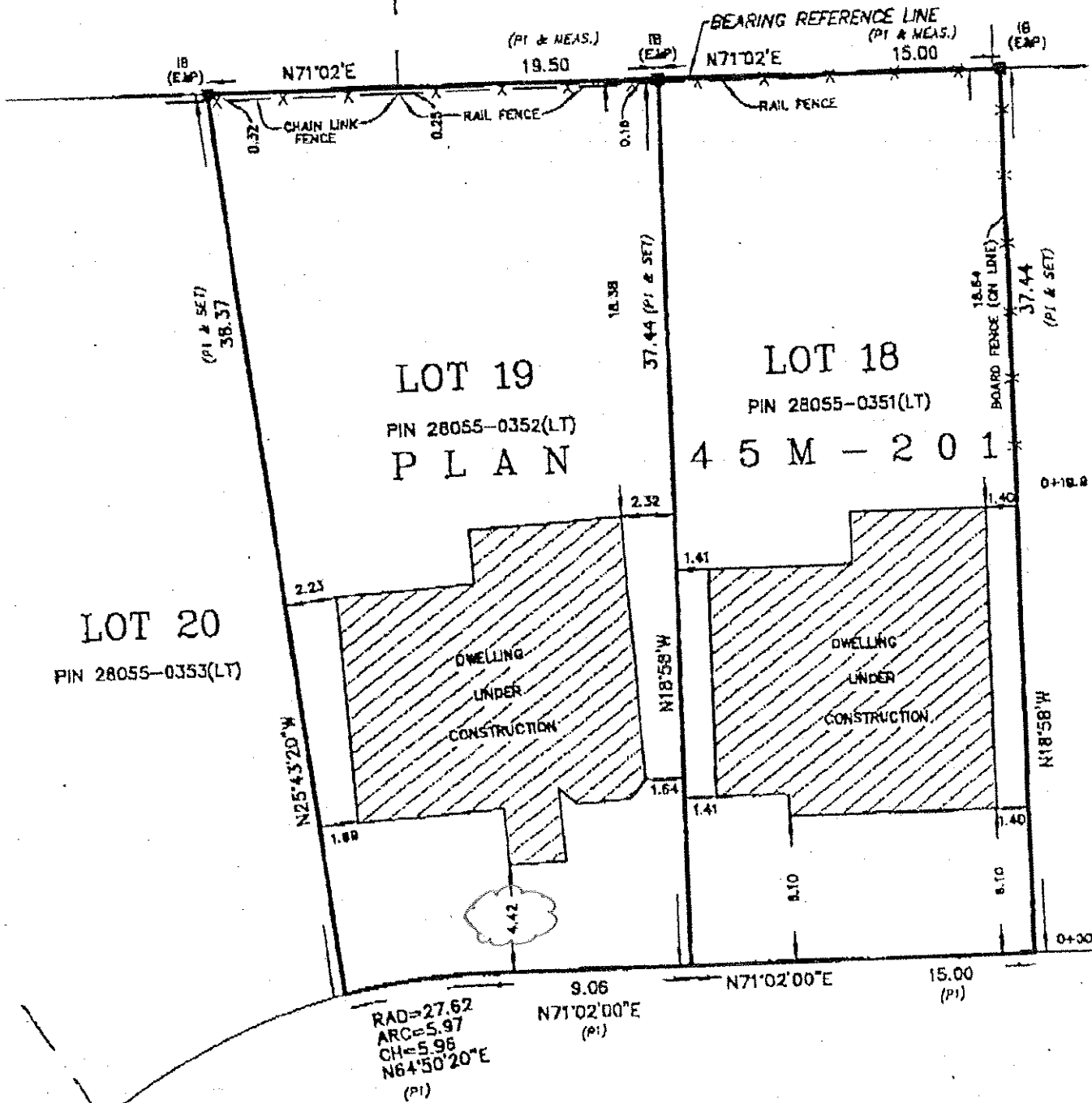
LOT 7

CONCESSION

PIN 28055-0013(LT)

PIN 28055-0014(LT)

PIN



LOT 19

PIN 28055-0352(LT)

PLAN

LOT 18

PIN 28055-0351(LT)

45M-201

LOT 20

PIN 28055-0353(LT)

DWELLING UNDER CONSTRUCTION

DWELLING UNDER CONSTRUCTION

RAD=27.62  
ARC=5.97  
CH=5.96  
N64°50'20"E  
(PI)

PARCELLS CRESCENT

(PLAN 45M-201)

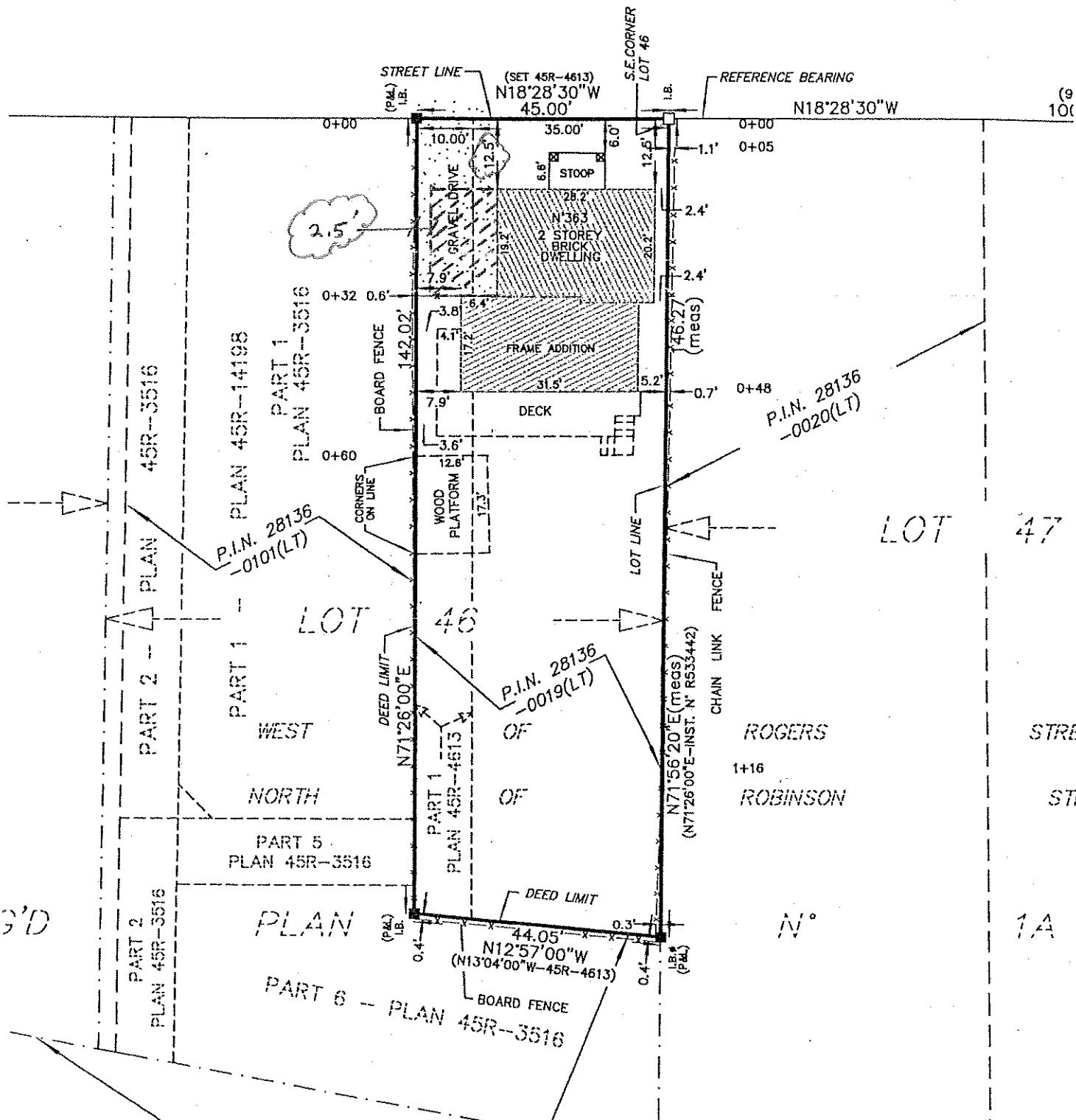
PIN 28055-0413(LT)

ROGERS

( BY REG'D PLAN N° 1A )

STRE

P.I.N. 28136 - 0029(LT)



PART 1  
PLAN 45R-3516  
P.I.N. 28136  
-0101(LT)

PART 1  
PLAN 45R-4613  
P.I.N. 28136  
-0019(LT)

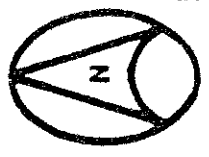
P.I.N. 28136  
-0020(LT)

PART 1 - PLAN 45R-9221  
P.I.N. 28136 - 0101(LT)  
PART OF LOT 30 - CONCESSION 13  
(GEOGRAPHIC TOWNSHIP OF OTONABEE)  
PART 1 - PLAN 45R-1111

MINISTRY OF  
LAND SURVEYORS  
SUBMISSION FORM  
S 17762

SCHEDULE 'X' TO SECTION  
-259

SCHEDULE - A TO  
BY-LAW 1986 - 123  
PASSED THE 15 DAY  
OF June, 1987  
(Sgd.) S. Sutherland MAYOR  
(Sgd.) S. Hendry CLERK

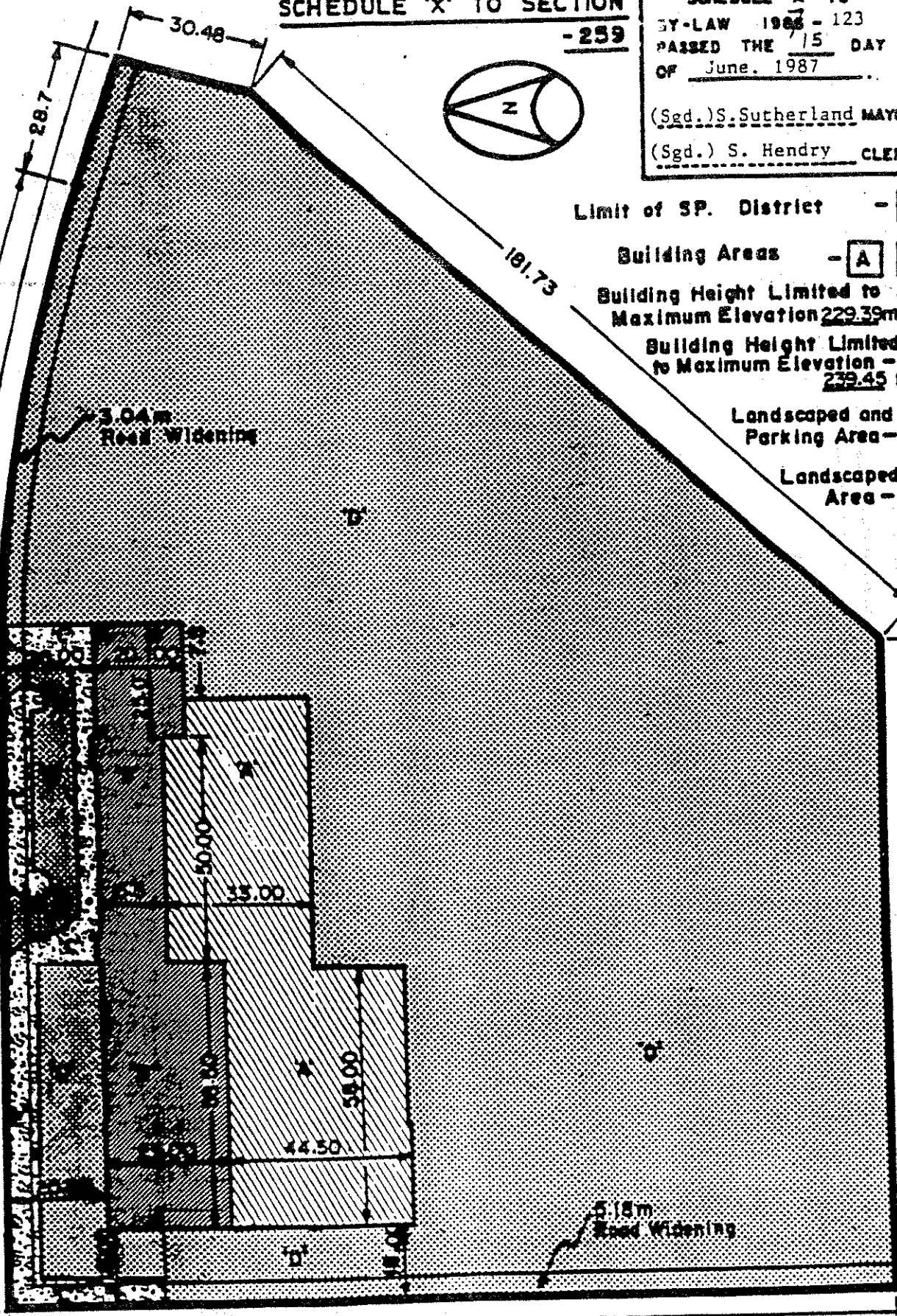


- Limit of SP. District -
- Building Areas -  A  B
- Building Height Limited to Maximum Elevation 229.39m -  A
- Building Height Limited to Maximum Elevation 239.45m -  B
- Landscaped and Parking Area -  C
- Landscaped Area -  D

Hunter Street  
104.06 E.

Hunter Street

143.49



Armour Road  
195.03

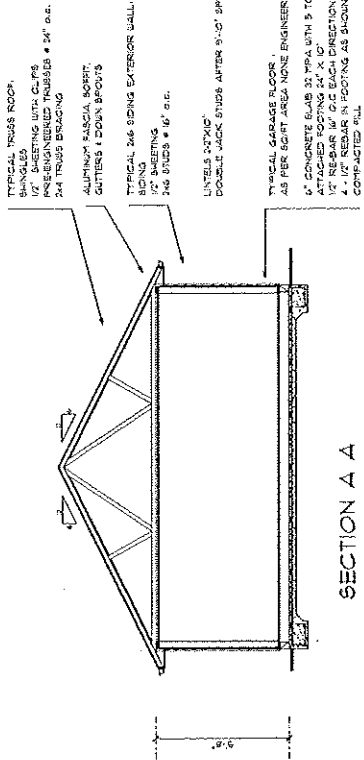
143.83



**NOTES / REMARKS**

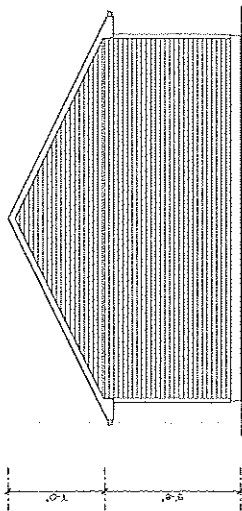
ALL DIMENSIONS ARE UNLESS OTHERWISE SPECIFIED.  
 ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.  
 ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.

**YOUR DESIGN** RESIDENTIAL DRAFTING/DESIGN SERVICE  
 18 TRILLIUM CRT OMEGA ONTARIO  
 K0L2W0  
 PHONE T05-799-2172  
 FAX T05-799-2171  
 mh@yourwdesign.ca

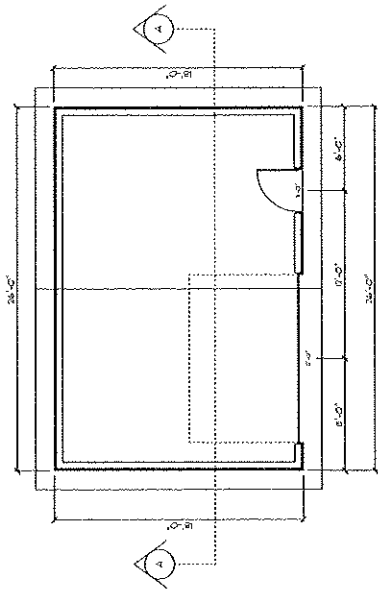


SECTION A A

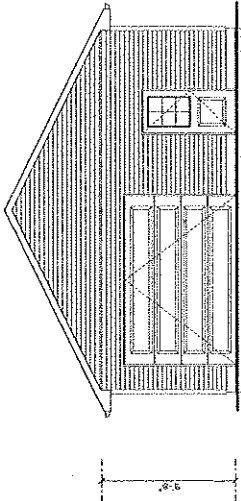
- TYPICAL TRUSS ROOF:  
 SHINGLES  
 INSULATED TRUSSES # 24' o.c.  
 2x4 TRUSS BRACING
- ALUMINUM FASCIA, SOFFIT,  
 GUTTERS & DOWN SPOUTS
- TYPICAL 2x6 SING EXTERIOR WALL:  
 1/2" SHEETING  
 2x6 STUDS # 16" o.c.
- LINTELS 2X10"  
 DOUBLE JACK STUDS AFTER 9'-0" SPAN
- TYPICAL GARAGE FLOOR:  
 AS PER 60'x12' AREA MINE ENGINEERED SLAB  
 12" CONCRETE SLAB ON MPA WITH 5" TO 8" AIR ENTRAINMENT  
 ATTACHED FOOTING 24" X 12"  
 1" REBAR 10' O.C. EACH DIRECTION AS SHOWN  
 4" 12" REBAR IN FOOTING AS SHOWN  
 COMPACTED FILL



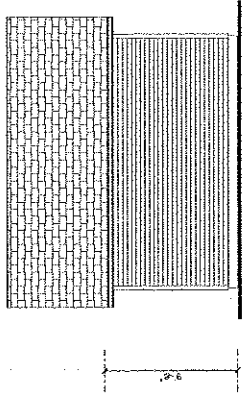
REAR ELEVATION



MAIN FLOOR PLAN



FRONT ELEVATION



RIGHT & LEFT ELEVATION

1. I AM A REGISTERED ARCHITECT IN THE PROVINCE OF ONTARIO.  
 2. I HAVE PREPARED THIS DRAWING IN ACCORDANCE WITH THE REGULATIONS OF THE ARCHITECTS ACT, R.S.O. 1990, CHAPTER 191.  
 3. I HAVE PREPARED THIS DRAWING IN ACCORDANCE WITH THE REGULATIONS OF THE ARCHITECTS ACT, R.S.O. 1990, CHAPTER 191.  
 4. I HAVE PREPARED THIS DRAWING IN ACCORDANCE WITH THE REGULATIONS OF THE ARCHITECTS ACT, R.S.O. 1990, CHAPTER 191.  
 5. I HAVE PREPARED THIS DRAWING IN ACCORDANCE WITH THE REGULATIONS OF THE ARCHITECTS ACT, R.S.O. 1990, CHAPTER 191.

DATE: SEPT. 1, 2011	PLAN NAME: NEW SHED	ADDRESS: 380 ARMOUR ROAD PETERBOROUGH
DRAWING NAME: FOUNDATION PLAN	SCALE: 1/8" TO 1'	PAGE #
REVISED DATE		<b>A1</b>

REGISTERED PLAN No 63

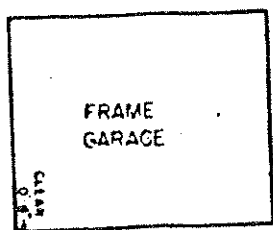
EXHIBIT F  
SHEET 1 OF 1

LOT 1  
LOT 2

LOT 1

REGISTERED PLAN No 63

LOT 2

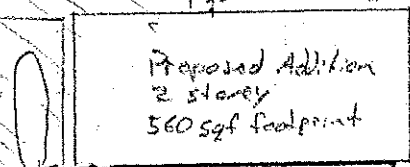


90'00"

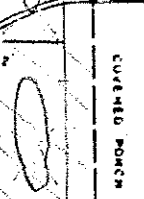
LOT LINE

30'00"

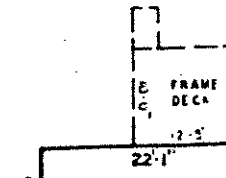
1 STOREY BRICK GARAGE



Proposed Addition  
2 storey  
560 sqf footprint

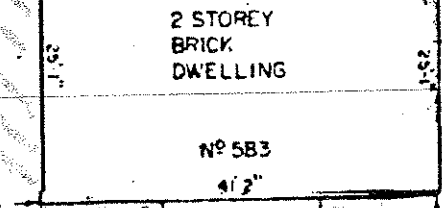


COVERED PORCH



FRAME DECK

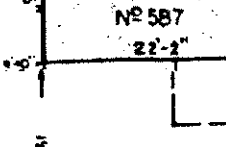
2 1/2 STOREY BRICK DWELLING



2 STOREY BRICK DWELLING

No 583

41'2"



2 1/2 STOREY BRICK DWELLING

No 587

22'-2"

INST No 127237

INST No 187666

60'00"

30'00"

90'00"

WATER

STREET

with Shared fence access to Water St.

1:10

1:15

CUT CROSS WIT

0'-00"

LOT LINE

RIGHT OF WAY

SOUTH WEST CORNER

R 1

8

1:10

DEED LIMIT

DEED LIMIT

CONCRETE WALL

CONCRETE WALL

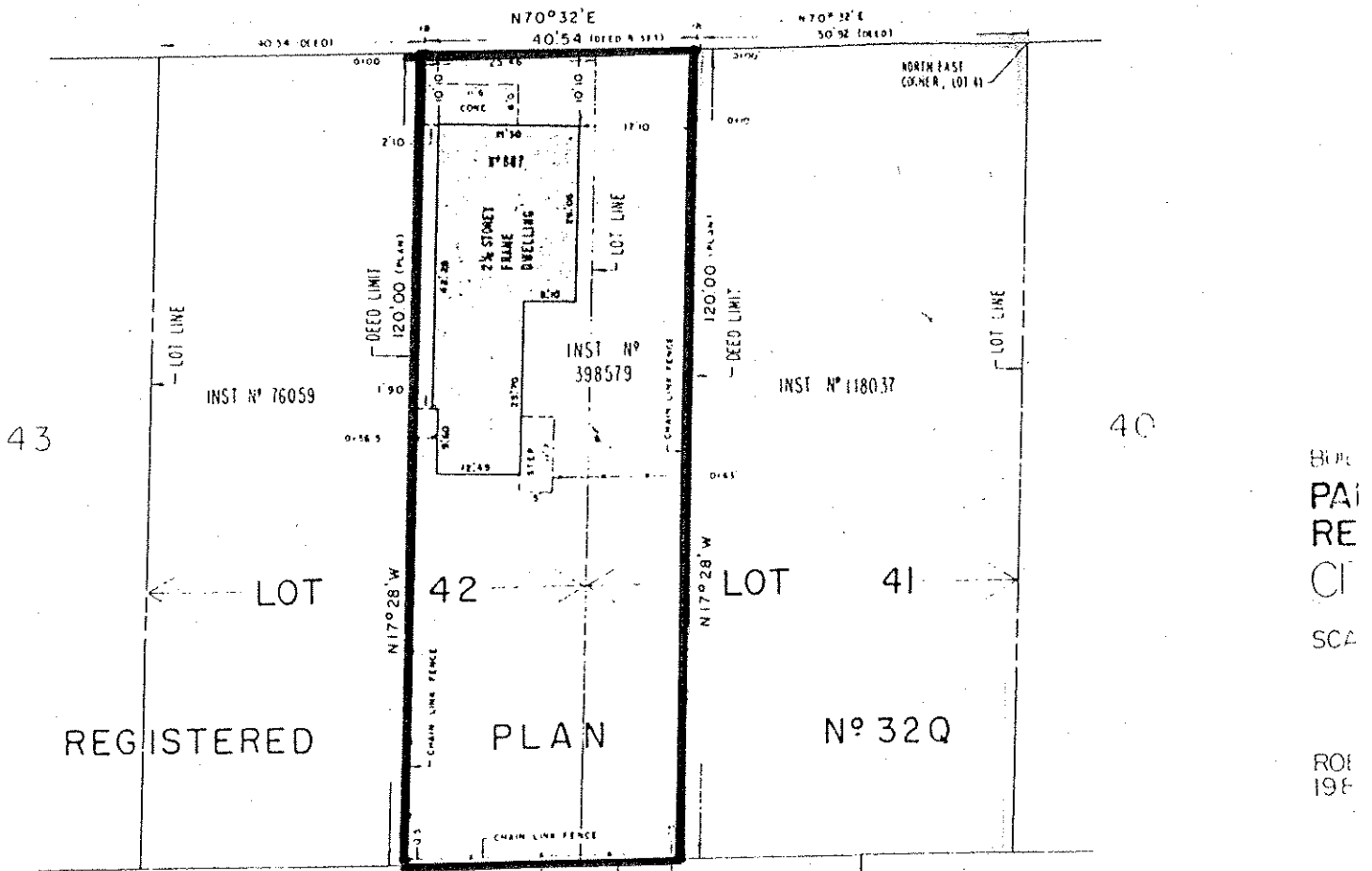
CONCRETE WALL

CONCRETE WALL

CONCRETE WALL



BROWN STREET



43

40

BUR  
PAI  
RE  
CI  
SCA  
  
ROE  
198

REGISTERED

PLAN

N° 32Q

↑ 667 BROWN ST. (SEVER) N° 340 ST  
↑ 663 BROWN ST. (RETAIN)

WARNING NOTE:  
BEARINGS ARE ASTRONOMIC, DERIVED FROM  
REFERENCE PLAN 45R5656

- LEGEND:
- DENOTES SURVEY MONUMENT FOUND
  - " " " " SURVEY MONUMENT SET
  - SIB " " " " STANDARD IRON BAR
  - IB " " " " IRON BAR
  - CC " " " " CUT CROSS
  - WIT " " " " WITNESS

SURVEYOR'S CERTIFICATE:  
I CERTIFY THAT  
THE FIELD SURVEY REPRESENTED ON THIS PLAN WAS  
COMPLETED ON THE 21<sup>ST</sup> DAY OF OCTOBER, 1985

22 OCTOBER, 1985

*Robert R. Marr*  
ROBERT R. MARR

FICATE

PRESENTED BY THIS PLAN WAS COMPLETED  
1987:

*W.A. Beninger*  
W.A. BENINGER  
ONTARIO LAND SURVEYOR

TO CONCRETE BLOCK

BUILDING LOCATION SURVEY OF  
PART OF LOT 41  
REGISTERED PLAN N<sup>o</sup> 32 Q

EXHIBIT 9  
SHEET 2 OF 2

CITY OF PETERBOROUGH

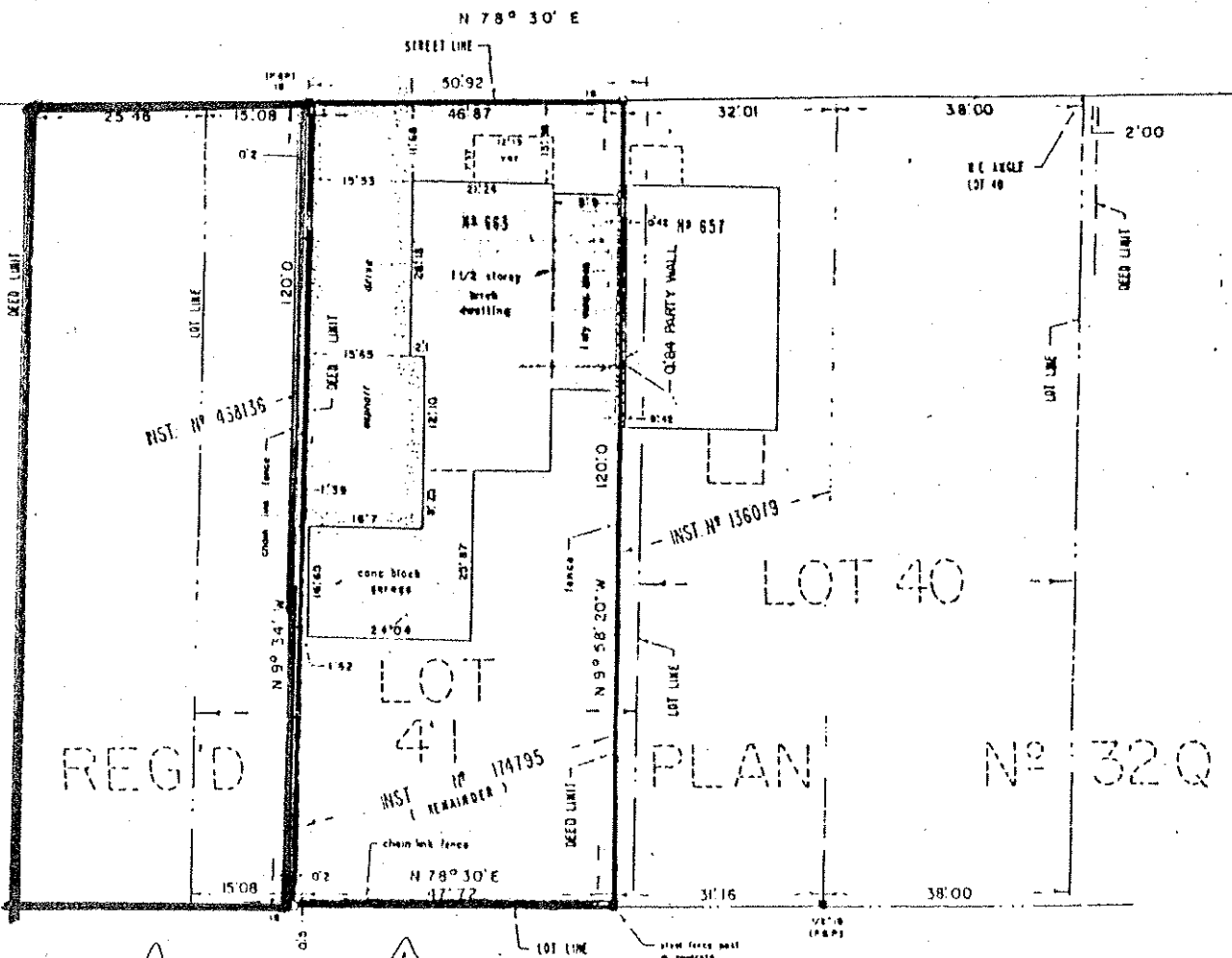
SCALE - 1 INCH EQUALS 20 FEET

..... DENOTES IRON BAR, FOUND.

..... DENOTES IRON BAR, SET.

BROWN STREET

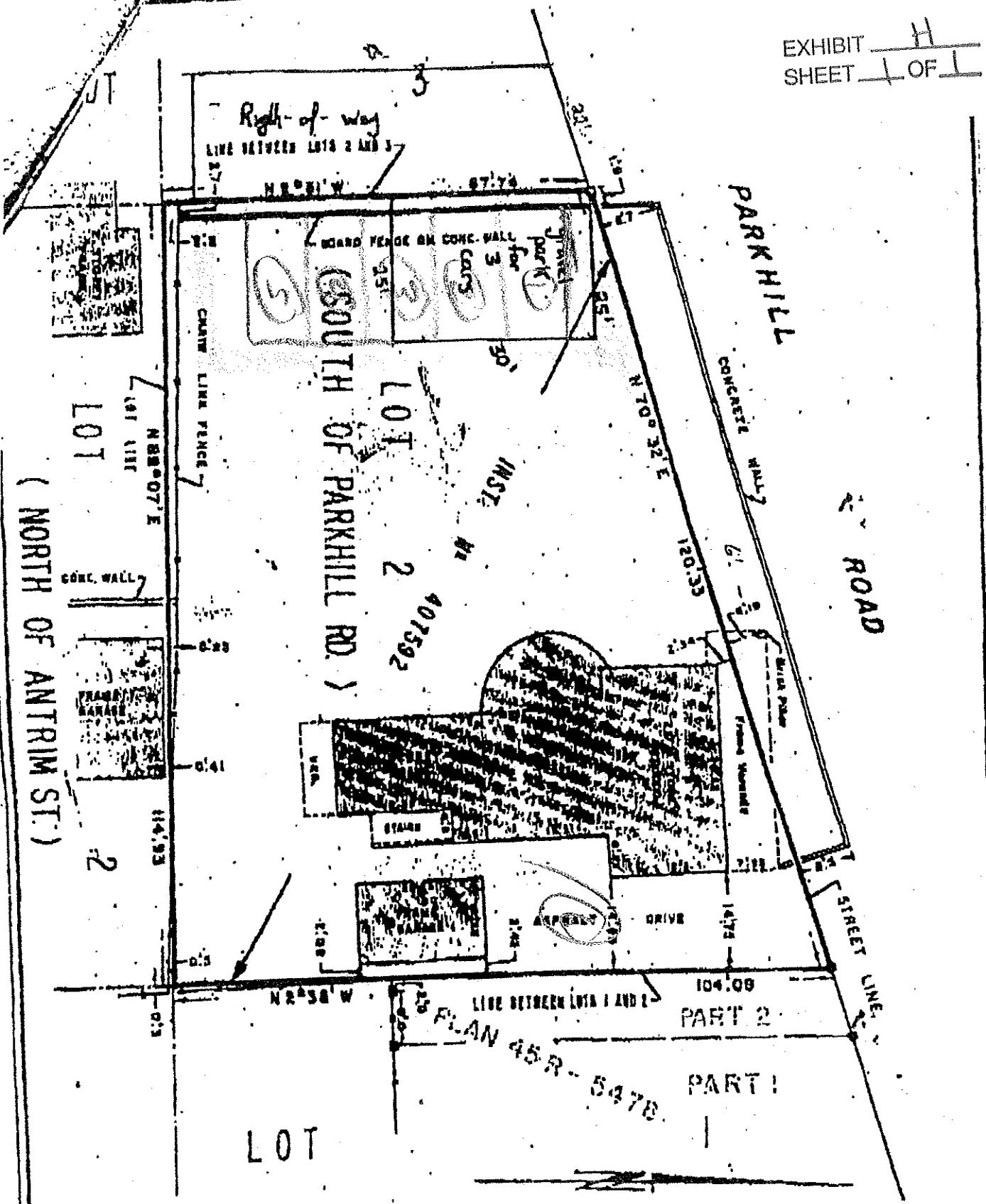
N 78° 30' E



↑  
667 Brown St.  
(SEWER)

↑  
663 Brown St.  
(RETAIN)

W.A. B  
O.S.  
P.E.T.



BUILDING LOC  
LOT 2, SOUTH  
AND WEST OF  
CITY OF PEI  
COUNTY OF PETERBO  
SCALE - 1 INCH =  
NEARBY ARE THE  
FORMATION OF SHELLS.  
SURVEY CERTIFICATE  
IDENTITY TALK:  
THE FIELD SURVEY BEGINS  
THE 8TH APRIL 1983  
PETERBOROUGH, ONTARIO  
APRIL 10, 1985

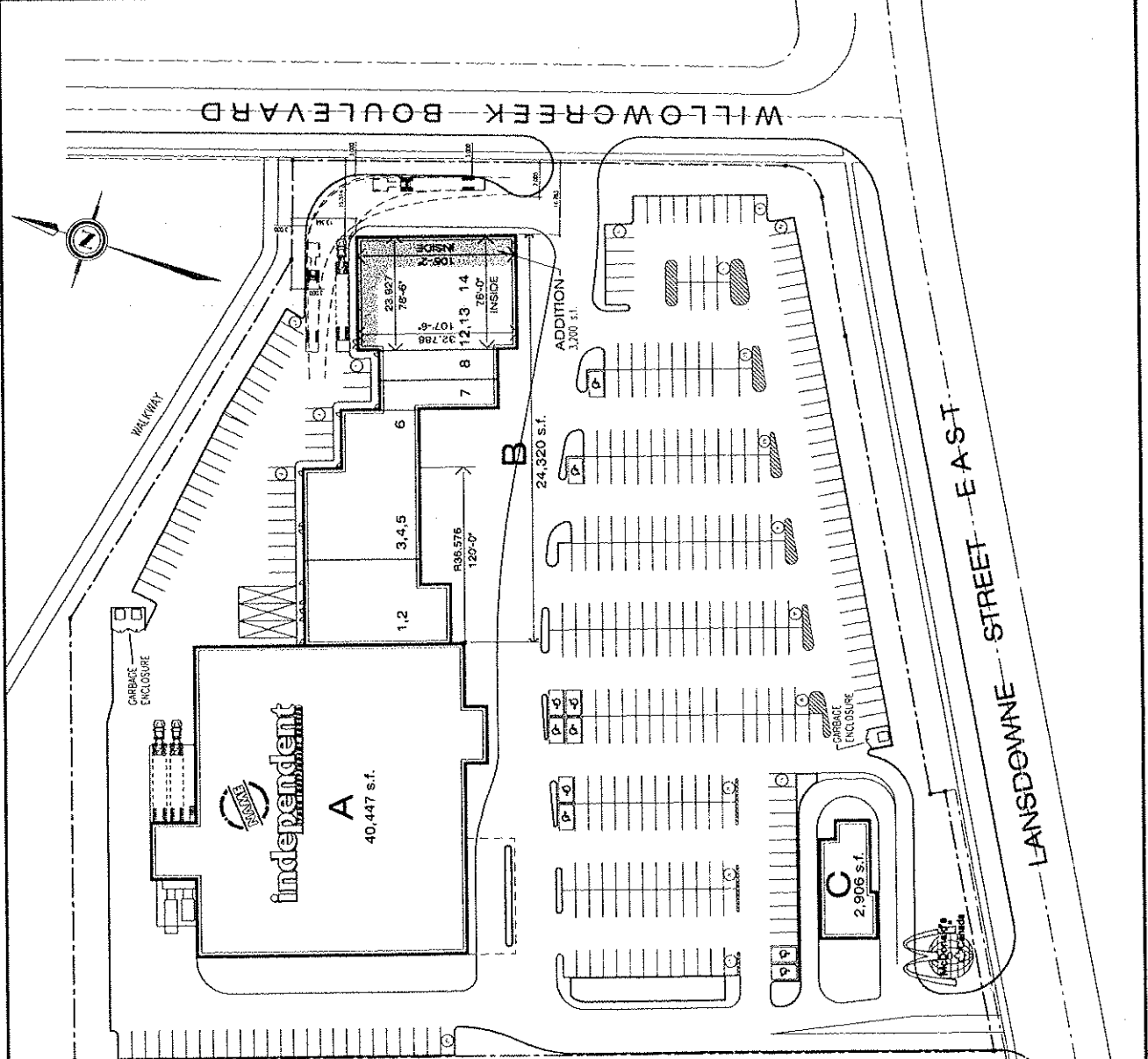
1	DATE	
2	DATE	
3	DATE	
4	DATE	
5	DATE	
6	DATE	
7	DATE	
8	DATE	
9	DATE	
10	DATE	

**Tr** **Builder**  
91 The Queen /  
Tel: 416-763-1111

**Go**  
75 The Den  
Toronto, ON  
Phone: (416) 461-1111  
Fax: (416) 461-1111

**WILLI**  
400 LA  
**PETER**  
**S**

Project No. \_\_\_\_\_  
Drawing No. \_\_\_\_\_  
Scale \_\_\_\_\_  
Date \_\_\_\_\_  
Job No. \_\_\_\_\_



UNIT N°.	TENANT	AREA ft²
A	YIG (lobbies)	40,447
1, 2	Penningsons	5,414
3, 4, 5	LCBO	5,927
6	Vacant	1,120
7	Recycled M2S	1,600
8	Subway	1,575
12, 13, 14	PROPOSED DOLLARAMA	6,444
C	McDonalds	2,906

**3 TENANT LEGEND**  
A-1 N.T.S.

BUILDING	AREA ft²	GFA (m²)
A	40,447	3,740.00
B- ADDITION	3,700	297.28
C	2,906	270.15
TOTAL	47,053	4,307.43

**PARKING REQUIRED PROVIDED**  
5 spaces / 100m² GFA 375 spaces 372 spaces  
5.20 spaces / 1,000 s.f. provided 10 spaces PROVIDED

**ACCESSIBLE**  
PARKING SPACE: 2.75m x 5.50m, 6.40m ASLE  
WALKWAY: 1.50m WIDE, 1.50m WIDE  
DOUBLE ACCESSIBLE SPACE: 7.32m x 3.00m  
FIRE ROUTE: 5.0m WIDE, MIN. 12.0m RADIUS  
LOADING PROVIDED 5 spaces

**2 SITE STATISTICS**  
A-1 N.T.S.

BLOCK 4, PLAN 450A-119  
PART OF LOT 31, REGISTERED PLAN NO. 1A  
CITY OF PETERBOROUGH  
COUNTY OF PETERBOROUGH

SCALE: 1:1,400



**1 SITE PLAN**  
A-1 1:1,400



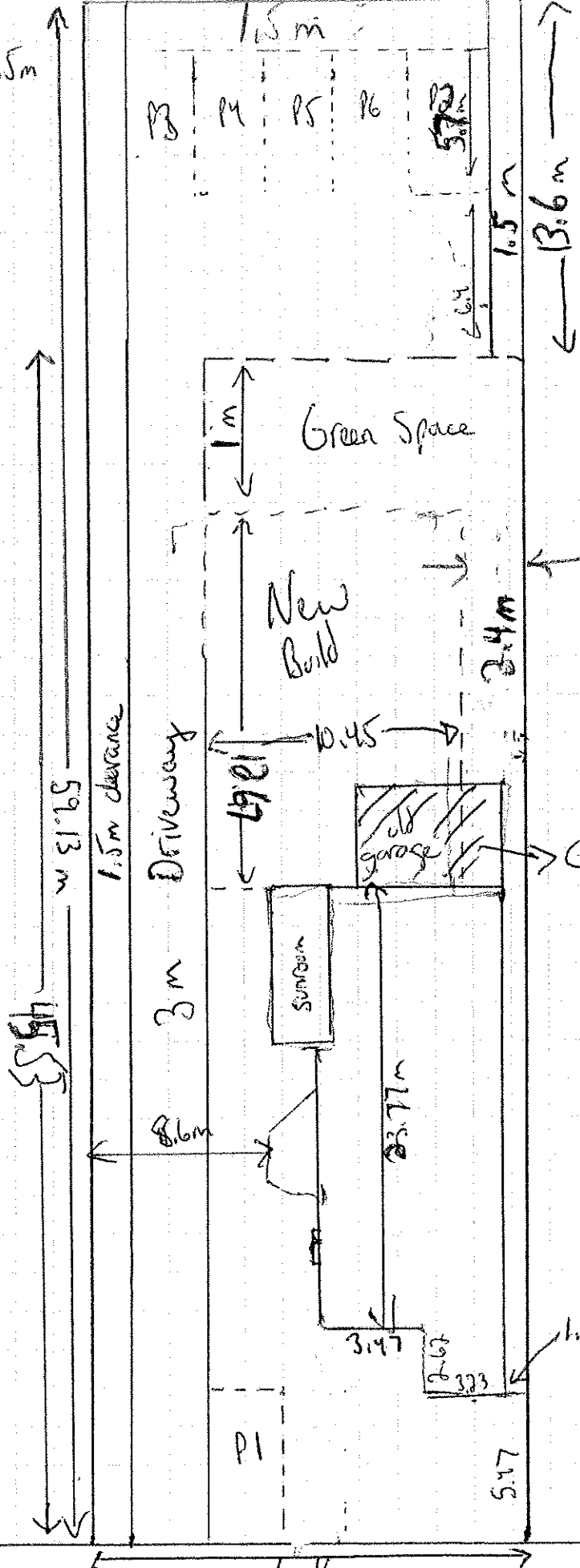


Scale 1 square is 1.5m

EXHIBIT K  
SHEET 2 OF 2

203 A+B  
Duplex

211 + 213  
Multiplex

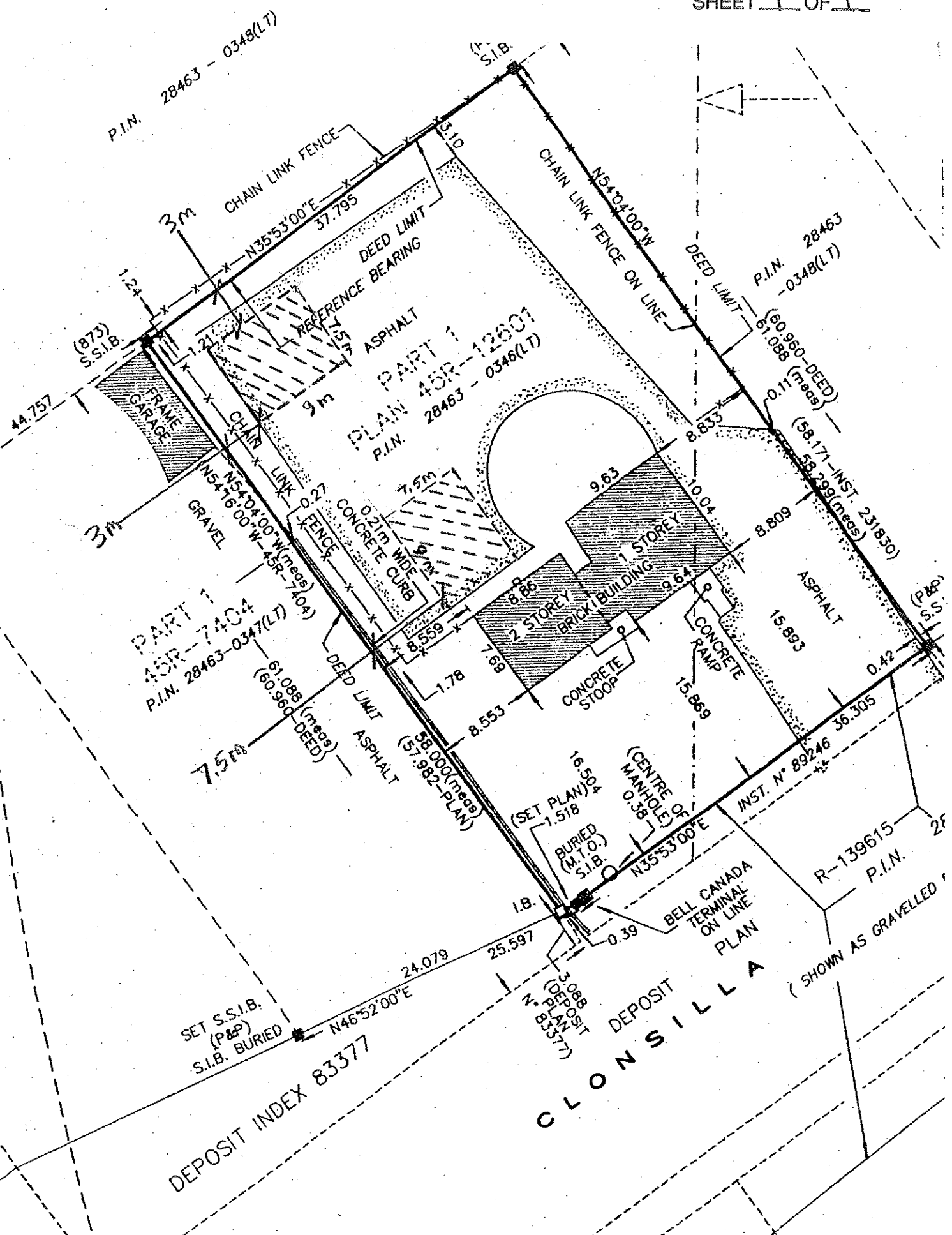


Sidewalk  
17.39

8.46

17.39m

P.I.N. 28463 - 0348(LT)



(873) S.S.I.B.  
FRAME GARAGE

1.2601  
PART 1  
PLAN 45R-12601  
P.I.N. 28463 - 0346(LT)

PART 1  
45R-7404  
P.I.N. 28463-0347(LT)

(SET PLAN)  
1.518  
BURIED (M.T.O.)  
S.I.B.

BELL CANADA  
TERMINAL  
ON LINE  
PLAN

DEPOSIT  
INDEX 83377

DEPOSIT INDEX 83377

R-139615  
P.I.N.

(SHOWN AS GRAVELLED)