

THE CORPORATION OF THE CITY OF PETERBOROUGH

BY-LAW NUMBER 08-084

BEING A BY-LAW TO ADOPT AMENDMENT NO. 136 TO THE OFFICIAL PLAN OF THE CITY OF PETERBOROUGH FOR THE PROPERTIES KNOWN AS 965, 971, 977, 979 AND 981 CHEMONG ROAD

THE CORPORATION OF THE CITY OF PETERBOROUGH BY THE COUNCIL THEREOF ENACTS AS FOLLOWS:

1. **Schedule 'A'– Land Use** of the Official Plan of the City of Peterborough is amended in accordance with Schedule 'A' attached hereto. The area indicated thereon is changed from **"Urban Fringe Control" (Formerly Smith Township)** to **"Residential"**.
2. **Schedule 'L'– Downey West Secondary Plan** of the Official Plan of the City of Peterborough is amended in accordance with Schedule 'B' attached hereto. A portion of the area indicated thereon is changed from **"Low Density Residential"** to **"Local Commercial"** and the other portion is added to the Secondary Plan and designated as **'Local Commercial'**.
3. That the following Section be added to Section 10.3 Downey West Secondary Plan:

"Section 10.3.4 Special Provisions – Notwithstanding the provisions of Section 4.2.6.3 of this Plan, the properties municipally known as 965 to 981 Chemong Road, which are designated 'Local Commercial' may also be used for a large format drug store."

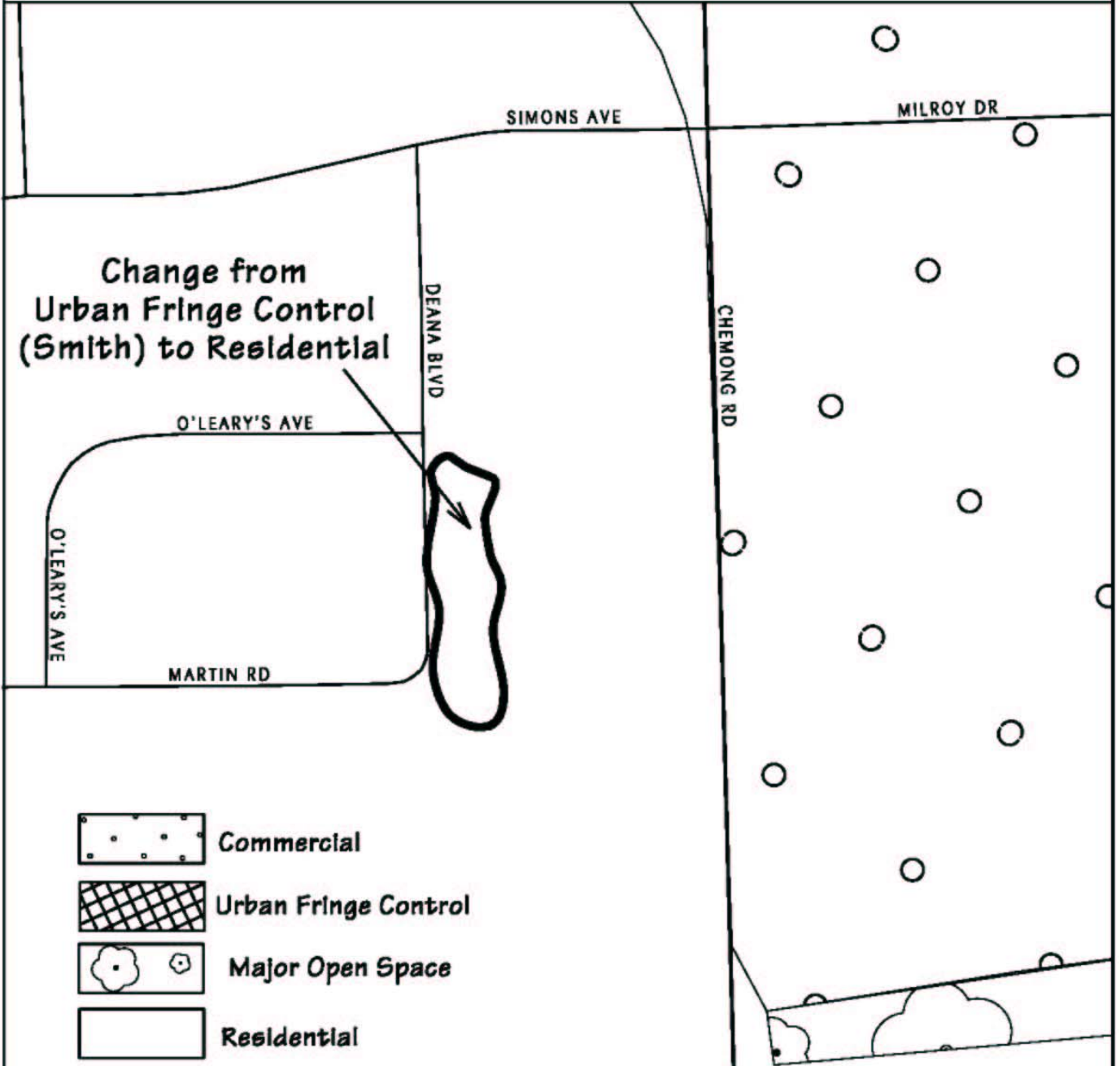
By-law read a first, second and third time this 14th day of April, 2008

(Sgd.) D. Paul Ayotte, Mayor

(Sgd.) Nancy Wright-Laking, City Clerk



Official Plan Amendment to Schedule - A



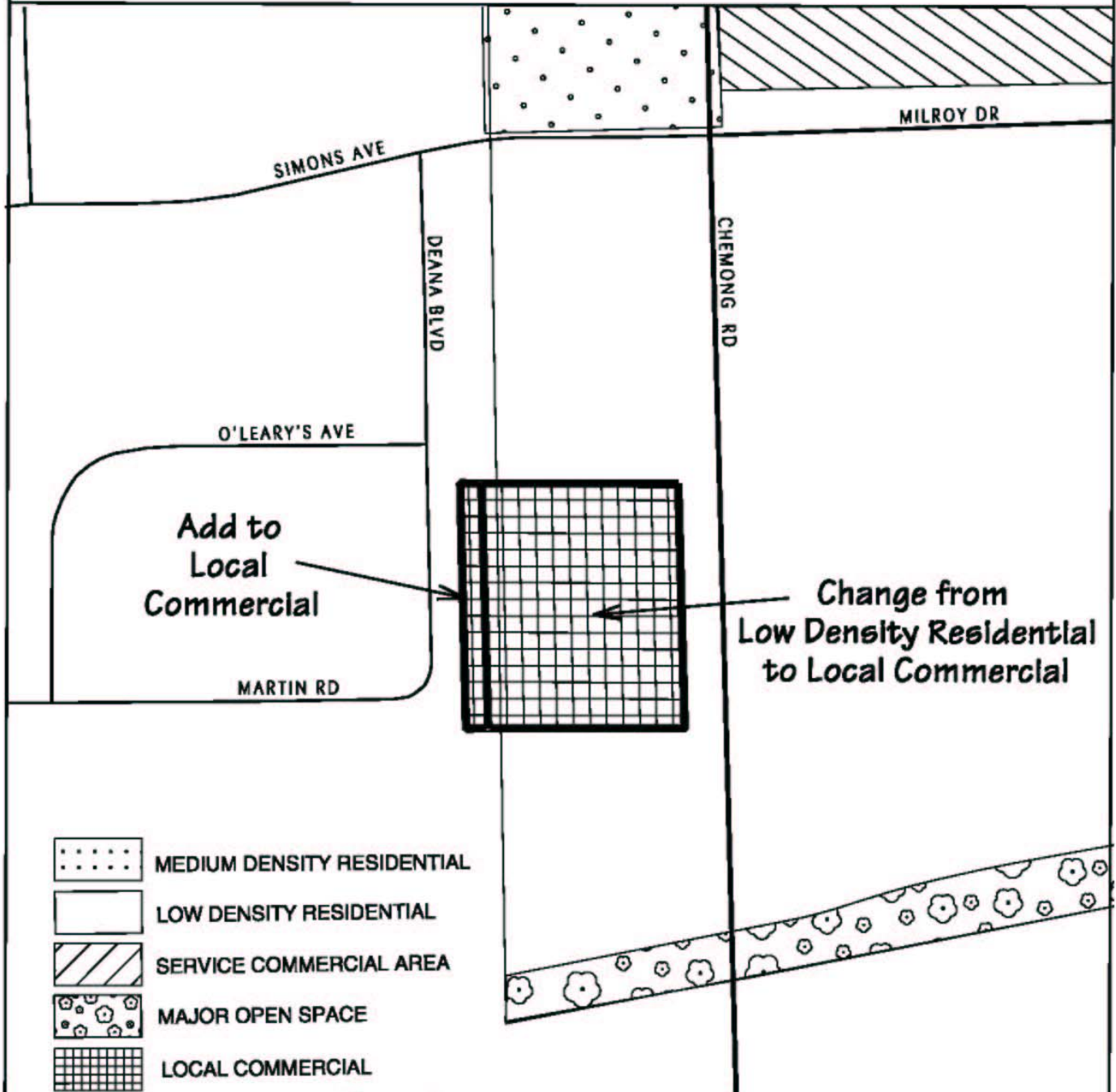
-  Commercial
-  Urban Fringe Control
-  Major Open Space
-  Residential






City of Peterborough

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Official Plan Amendment to Schedule - L



-  MEDIUM DENSITY RESIDENTIAL
-  LOW DENSITY RESIDENTIAL
-  SERVICE COMMERCIAL AREA
-  MAJOR OPEN SPACE
-  LOCAL COMMERCIAL

City of Peterborough

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