

THE CORPORATION OF THE CITY OF PETERBOROUGH

BY-LAW NUMBER 07-104

BEING A BY-LAW TO AMEND THE ZONING BY-LAW FOR
443 REID STREET

THE CORPORATION OF THE CITY OF PETERBOROUGH BY THE COUNCIL
THEREOF HEREBY ENACTS AS FOLLOWS:

1. By-Law 1997-123 is amended by adding Section 365 as follows:

“SECTION 365

SPECIAL DISTRICT 335 (SP.335)

365.1 For the purpose of this by-law, land use district “Special District 335” is hereby established and may be referred to by the symbol “SP.335”.

PERMITTED USES:

365.2 No person shall within an SP.335 District use any land or erect, alter or use any building or part thereof for any reason other than:

- a) Multi-unit dwelling

REGULATIONS:

365.3 No person shall within an SP.335 District use any land or erect, alter or use any building or part thereof except in accordance with the following regulations:

a) Maximum number of dwelling units	48
b) Maximum building floor area	4,100 square metres
c) Minimum setback from a side lot line	The lesser of the existing or 8m
d) Minimum lot area per dwelling unit	100 square metres
e) Maximum building coverage	30%
f) Maximum number of storeys	3
g) Maximum lot coverage by open parking areas, driveways and vehicle movement areas	45%
h) Notwithstanding Section 4.2, a minimum of 45 motor vehicle parking spaces shall be provided and maintained.	
j) Notwithstanding Section 4.3.2, the minimum distance between a habitable room and a motor vehicle parking space or driveway shall be 1.5m	
k) Notwithstanding Section 6.16, the minimum width of a planting strip along the northerly lot line shall be the lesser of the existing or 1.5m.	

365.4 SP.335 District is hereby designated as a residential district.”

2. **Map 12c** forming part of Schedule ‘A’ to By-law 97-123 is amended by changing the area shown on the sketch attached hereto as Schedule ‘A’ from **PS.2 to SP. 335 – “H” Special District.**

3. The ‘H’ – Holding Symbol will be removed from the Zoning By-law upon the following:

- a) Site Plan Approval is granted for the subject property to address the following:
 - i. proposed changes to the parking, landscaping and walkways; and
 - ii. provision in the Site Plan Agreement to require that a minimum of 30 dwelling units be fully wheelchair accessible dwelling units for persons with physical disabilities; and
- b) Confirmation of available servicing capacity.
- c) Designation of the building under the Ontario Heritage Act.

By-law read a first, second and third time this 3rd day of July, 2007

(Sgd.) Henry Clarke, Deputy Mayor

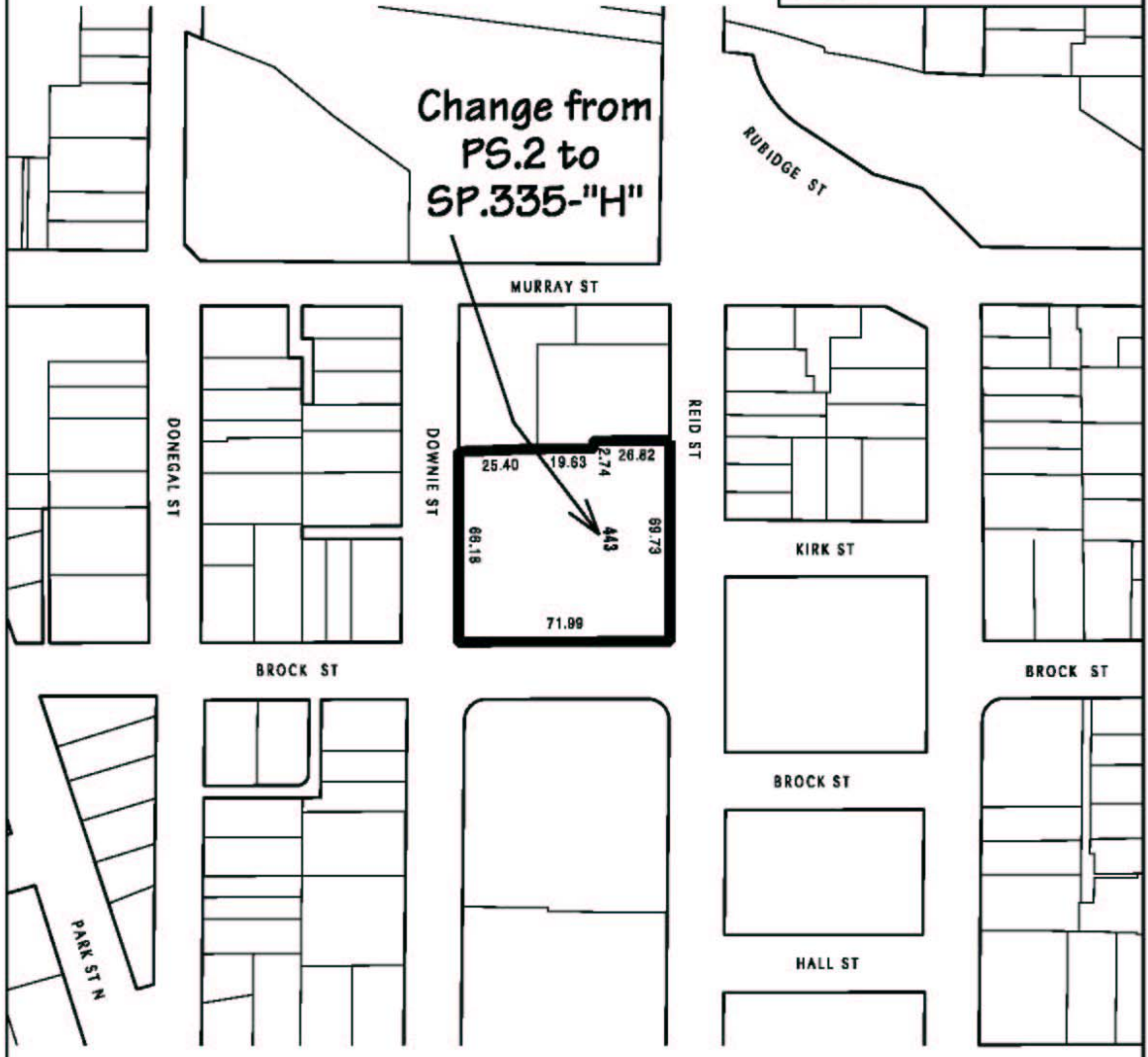
(Sgd.) Nancy Wright-Laking, City Clerk

Dimensions are in metric

SCHEDULE 'A' TO
BYLAW 2007-104
PASSED THE 3rd DAY
OF JULY 2007
MAYOR
CLERK



Change from
PS.2 to
SP.335-"H"



City of
Peterborough

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File: z0624

Scale: 1:2000