

**THE CORPORATION OF THE CITY OF PETERBOROUGH**

**BY-LAW NUMBER 07-048**

**BEING A BY-LAW TO AMEND THE ZONING BY-LAW FOR  
PART OF THE PROPERTY AT 1371 HILLIARD STREET AND  
1224 CHEMONG ROAD**

**THE CORPORATION OF THE CITY OF PETERBOROUGH BY THE COUNCIL  
THEREOF ENACTS AS FOLLOWS:**

1. By-law 1997-123 is amended by adding the following sections:

**"SECTION 358**

**SPECIAL DISTRICT 328 (SP.328)**

- 358.1 For the purpose of this by-law, land use district "Special District 328" is hereby established and may be referred to by the symbol "SP328".

**PERMITTED USE:**

- 358.2 No person shall within an SP.328 District, use any land or erect, alter or use any building or part thereof for any purpose other than:
- a) a dwelling

**REGULATIONS:**

- 358.3 No person shall within an SP. 328 District, use any land or erect, alter or use any building or part thereof except in accordance with the following regulations:

<b>Type</b>	<b>Requirement</b>
a) maximum number of dwelling units per lot	1
b) minimum lot area	340 square metres
c) minimum lot width	13.7m
d) minimum lot depth	25m
e) minimum building setback i) side lot line	1.2m on one side and 0.6 m on the opposite side
ii) rear lot line	6.0m
f) maximum building coverage	50%
g) maximum number of storeys	2
h) minimum floor area per dwelling unit	70 square metres

j) maximum coverage by open parking areas, driveways and vehicle movement areas	25%
k) Notwithstanding the provisions of Section 6.11, the minimum building setback from the street line shall be: i) 3.0 metres for a dwelling, excepting an attached garage or carport ii) 6.0 metres for an attached garage or carport iii) 1.5 metres for a verandah	
l) Notwithstanding the provisions of Section 6.18, the minimum building setback of an accessory building shall be 0.3m from a side lot line.	

358.4 SP.328 District is hereby designated as a residential district.

## SECTION 359

### SPECIAL DISTRICT 329 (SP.329)

359.1 For the purpose of this by-law, land use district “Special District 329” is hereby established and may be referred to by the symbol “SP.329”.

#### PERMITTED USE:

359.2 No person shall within an SP.329 District use any land or erect, alter or use any building or part thereof for any purpose other than:

- a) a dwelling

#### REGULATIONS:

359.3 No person shall within an SP.329 District, use any land or erect, alter or use any building or part thereof except in accordance with the following regulations:

Type	Requirement
a) maximum number of dwelling units per lot	1
b) minimum lot area	227 square metres
c) minimum lot width	9.1 m
d) minimum lot depth	25 m
e) minimum building setback i) side lot line  ii) rear lot line	1.2m on one side and 0.6 m on the opposite side.  6.0 m
f) maximum building coverage	55%
g) maximum number of storeys	2
h) minimum floor area per dwelling unit	70 square metres
j) maximum coverage by open parking areas, driveways and vehicle movement areas	25%

<p>k) Notwithstanding the provisions of Section 6.11, the minimum building setback from the street line shall be:</p> <ul style="list-style-type: none"> <li>i) 3.0 metres for a dwelling, excepting an attached garage or carport</li> <li>ii) 6.0 metres for an attached garage or carport</li> <li>iii) 1.5 metres for a verandah</li> </ul>
<p>l) Notwithstanding the provisions of Section 6.18, the minimum building setback of an accessory building shall be 0.3m from a side lot line.</p>

359.4 SP.329 District is hereby designated as a residential district.

## SECTION 360

### SPECIAL DISTRICT 330 (SP.330)

360.1 For the purpose of this by-law, land use district “Special District 330” is hereby established and may be referred to by the symbol “SP.330”.

#### PERMITTED USE:

360.2 No person shall within an SP.330 District use any land or erect, alter or use any building or part thereof for any purpose other than:

- a) a dwelling

#### REGULATIONS:

360.3 No person shall within an SP.330 District, use any land or erect, alter or use any building or part thereof except in accordance with the following regulations:

Type	Requirement
a) maximum number of dwelling units per lot	2
b) minimum lot area per dwelling unit	182 square metres
c) minimum lot width per dwelling unit	7.3 m
d) minimum lot depth	25 m
e) minimum building setback	
i) side lot line	1.2m
ii) rear lot line	6.0m
f) maximum building coverage	60%
g) maximum number of storeys	2
h) minimum floor area per dwelling unit	70 square metres
j) maximum coverage by open parking areas, driveways and vehicle movement areas	25%

<p>k) Notwithstanding the provisions of Section 6.11, the minimum building setback from the street line shall be:</p> <ul style="list-style-type: none"> <li>i) 3.0 metres for a dwelling, excepting an attached garage or carport</li> <li>ii) 6.0 metres for an attached garage or carport</li> <li>iii) 1.5 metres for a verandah</li> </ul>
<p>l) Notwithstanding the provisions of Section 6.18, the minimum building setback of an accessory building shall be 0.3m from a side lot line.</p>

360.4 SP.330 District is hereby designated as a residential district.

**SECTION 361  
SPECIAL DISTRICT 331 (SP.331)**

361.1 For the purpose of this by-law, land use district “Special District 331” is hereby established and may be referred to by the symbol “SP.331”.

**PERMITTED USE:**

361.2 No person shall within an SP.331 District use any land or erect, alter or use any building or part thereof for any purpose other than:

- a) a dwelling

**REGULATIONS:**

361.3 No person shall within an SP.331 District, use any land or erect, alter or use any building or part thereof except in accordance with the following regulations:

<b>Type</b>	<b>Requirement</b>
a) maximum number of dwelling units per lot	8
b) minimum lot area per dwelling unit	150 square metres
c) minimum lot width per dwelling unit	6.0m
d) minimum lot depth	25m
e) minimum building setback	
i) side lot line	1.2m
ii) rear lot line	6.0m
f) maximum building coverage	65%
g) maximum number of storeys	2
h) minimum floor area per dwelling unit	70 square metres
j) maximum coverage by open parking areas, driveways and vehicle movement areas	25%
<p>k) Notwithstanding the provisions of Section 6.11, the minimum building setback from the street line shall be:</p> <ul style="list-style-type: none"> <li>i) 3.0 metres for a dwelling, excepting an attached garage or carport</li> <li>ii) 6.0 metres for an attached garage or carport</li> <li>iii) 1.5 metres for a verandah</li> </ul>	

l) Notwithstanding the provisions of Section 6.18, the minimum distance of an accessory building shall be 0.3m from a side lot line.
m) Notwithstanding the provisions of Section 4.2(a), a minimum of 2 parking spaces per dwelling unit shall be provided.

361.4 SP.331 District is hereby designated as a residential district.

## SECTION 362

### SPECIAL DISTRICT 332 (SP.332)

362.1 For the purpose of this by-law, land use district “Special District 332” is hereby established and may be referred to by the symbol “SP.332”.

#### PERMITTED USE:

362.2 No person shall within an SP.332 District use any land or erect, alter or use any building or part thereof for any purpose other than:

- a) a dwelling

#### REGULATIONS:

362.3 No person shall within an SP.332 District, use any land or erect, alter or use any building or part thereof except in accordance with the following regulations:

Type	Requirement
a) maximum number of dwelling units per lot	1
b) minimum lot area	227 square metres
c) minimum lot width	7.6m
d) minimum lot depth	30m
e) minimum building setback	
i) side lot line	1.2m on one side and 0.6 m on the opposite side
ii) rear lot line	6.0m
f) maximum building coverage	65%
g) maximum number of storeys	2
h) minimum floor area per dwelling unit	70 square metres
j) maximum coverage by open parking areas, driveways and vehicle movement areas	25%
k) Notwithstanding the provisions of Section 6.11, the minimum building setback from the street line shall be:	
i) 3.0 metres for a dwelling, excepting an attached garage or carport	
ii) 6.0 metres for an attached garage or carport	
iii) 1.5 metres for a verandah	
l) Notwithstanding the provisions of Section 6.18:	
i) the minimum distance of an accessory building shall be 0.3m from a side lot line; and	
ii) the minimum distance of an accessory building shall be 0.0 metres from a side lot line for a jointly-owned double garage which serves	

	two dwellings whose common lot line is the dividing line of such double garage.
m)	A lot line which abuts a public lane shall be deemed to be a rear lot line.

362.4 SP.332 District is hereby designated as a residential district.

## SECTION 363

### SPECIAL DISTRICT 333 (SP.333)

363.1 For the purpose of this by-law, land use district “Special District 333” is hereby established and may be referred to by the symbol “SP.333”.

#### PERMITTED USE:

363.2 No person shall within an SP.333 District use any land or erect, alter or use any building or part thereof for any purpose other than:

- a) a dwelling

#### REGULATIONS:

363.3 No person shall within an SP.333 District, use any land or erect, alter or use any building or part thereof except in accordance with the following regulations:

Type	Requirement
a) maximum number of dwelling units per lot	2
b) minimum lot area per dwelling unit	219 square metres
c) minimum lot width per dwelling unit	7.3m
d) minimum lot depth	30m
e) minimum building setback	
i) side lot line	1.2m
ii) rear lot line	6.0m
f) maximum building coverage	65%
g) maximum number of storeys	2
h) minimum floor area per dwelling unit	70 square metres
j) maximum coverage by open parking areas, driveways and vehicle movement areas	25%
k) Notwithstanding the provisions of Section 6.11, the minimum building setback from the street line shall be:	
i) 3.0 metres for a dwelling, excepting an attached garage or carport	
ii) 6.0 metres for an attached garage or carport	
iii) 1.5 metres for a verandah	
l) Notwithstanding the provisions of Section 6.18, the minimum distance of an accessory building shall be 0.3m from a side lot line.	
m) A lot line which abuts a public lane shall be deemed to be a rear lot line.	

363.4 SP.333 District is hereby designated as a residential district.

## SECTION 364

### SPECIAL DISTRICT 334 (SP.334)

364.1 For the purpose of this by-law, land use district “Special District 334” is hereby established and may be referred to by the symbol “SP.334”.

#### PERMITTED USE:

364.2 No person shall within an SP.334 District use any land or erect, alter or use any building or part thereof for any purpose other than:

- a) a dwelling

#### REGULATIONS:

364.3 No person shall within an SP.334 District, use any land or erect, alter or use any building or part thereof except in accordance with the following regulations:

Type	Requirement
a) maximum number of dwelling units per lot	8
b) minimum lot area per dwelling unit	180 square metres
c) minimum lot width per dwelling unit	6.0m
d) minimum lot depth	30m
e) minimum building setback <ul style="list-style-type: none"><li>i) side lot line</li><li>ii) rear lot line</li></ul>	1.2m 6.0m
f) maximum building coverage	70%
g) maximum number of storeys	2
h) minimum floor area per dwelling unit	70 square metres
j) maximum coverage by open parking areas, driveways and vehicle movement areas	25%
k) Notwithstanding the provisions of Section 6.11, the minimum building setback from the street line shall be: <ul style="list-style-type: none"><li>i) 3.0 metres for a dwelling, excepting an attached garage or carport</li><li>ii) 6.0 metres for an attached garage or carport</li><li>iii) 1.5 metres for a verandah</li></ul>	
l) Notwithstanding the provisions of Section 6.18, the minimum distance of an accessory building shall be 0.3m from a side lot line	
m) A lot line which abuts a public lane shall be deemed to be a rear lot line	
n) Notwithstanding the provisions of Section 4.2 (a), a minimum of 2 parking spaces per dwelling unit shall be provided.	

364.4 SP.334 District is hereby designated as a residential district.”

2. **Map 3** forming part of Schedule “A” to By-law 1997-123 is amended by changing the areas shown on the sketch attached hereto as Schedule A”

from **A2 (Smith) to SP.328, 10b – “H”; SP.328 – “H”; SP.329 – “H”; SP.330 – “H”; SP.331 – “H”; SP.332 – “H”; SP.333 – “H”; SP.334 – “H”; OS.1 and OS.3.**

3. The “H” – Holding Symbol shall be removed from the Zoning By-law upon execution of a subdivision agreement and posting of all necessary securities with the City of Peterborough.

By-law read a first, second and third time this 10<sup>th</sup> day of April, 2007

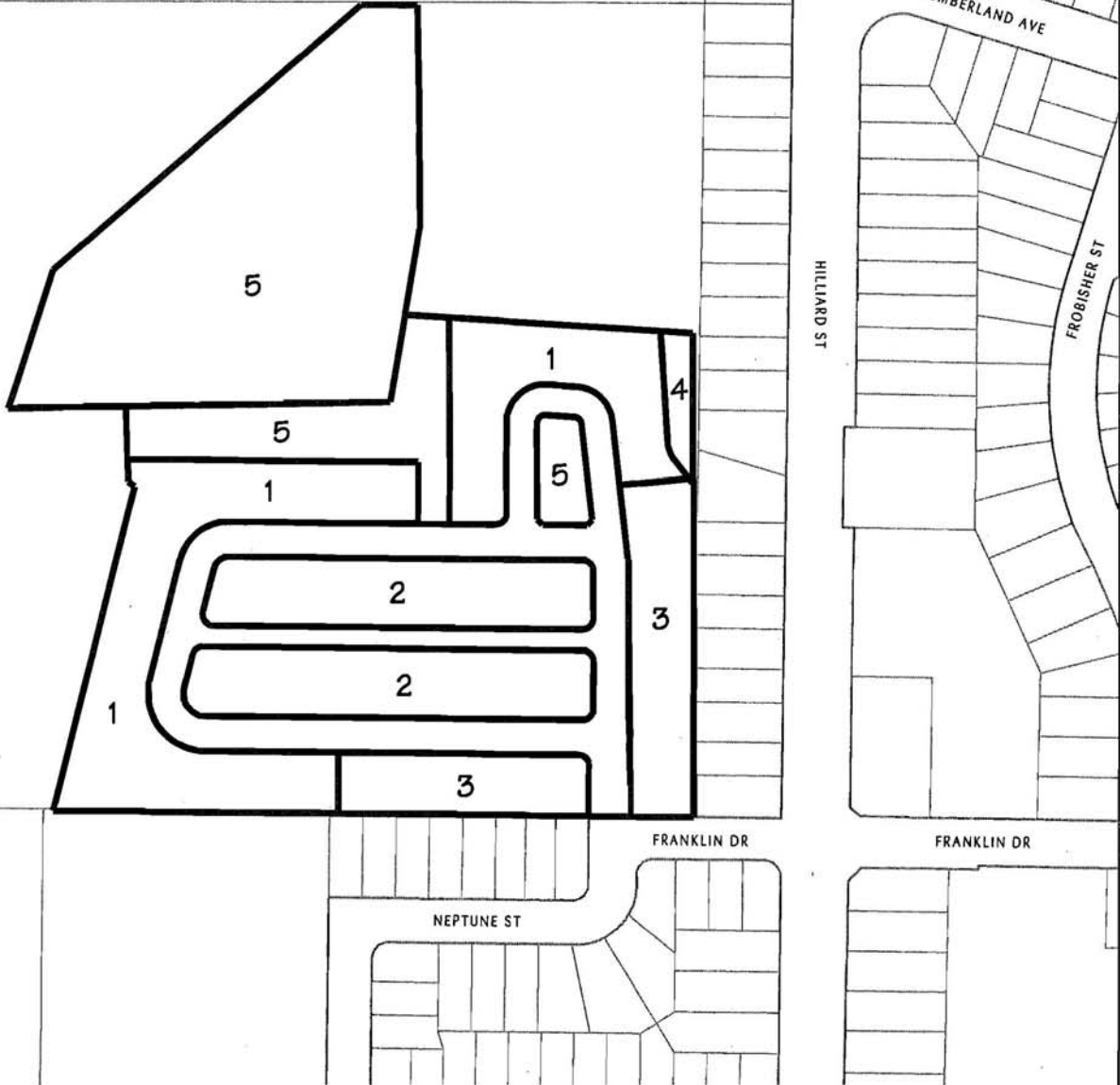
(Sgd.) Henry Clarke, Deputy Mayor

(Sgd.) Leigh Doughty, Deputy Clerk

Change from A.2  
to zoning shown

- 1 - SP.328, SP.329,  
SP.330, SP.331-"H"
- 2 - SP.332, SP.333  
SP.334-"H"
- 3 - SP.328, 10b-"H"
- 4 - OS.1
- 5 - OS.3

SCHEDULE 'A' TO  
BYLAW 2007 -  
PASSED THE DAY  
OF 2007  
MAYOR  
CLERK



City of  
**Peterborough**



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Scale: 1:3000